

Vicinity Map_(NTS)



FIRM Panel Vignette_(NTS)

DANIEL HUMPHRIES
2594 CASCADE ROAD
ATLANTA GA 30311

OWNER

DANIEL HUMPHRIES
2594 CASCADE ROAD
ATLANTA GA 30311
678-997-9737

SURVEYOR

BOUNDARY ZONE, INC.
800 SATELLITE BLVD
SUWANEE, GEORGIA 30024

BUILDER /

24 HR. EMERGENCY CONTACT

CROSBY CONSTRUCTION CONSULTING, LLC
NATHAN CROSBY
115 TOWNSEND TEAGUE ROAD NE
FAIRMOUNT, GA 30139
678-779-1651

ZONING: R-3

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 18,000 SF
FRONT: 50 FT
SIDE: 10 FT
REAR: 25 FT
BUILDING HEIGHT: 35 FT
MAXIMUM F.A.R.: 0.40
MAXIMUM COVERAGE: 40%

TOTAL AREA: 1.14 ACRES OR 49,660 SF
PARCEL ID: 14020100050375

- APPLICABLE CODES:
- INTERNATIONAL BUILDING CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL FIRE CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL PLUMBING CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL MECHANICAL CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL FUEL GAS CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS) (EFFECTIVE FEBRUARY 1, 2021)
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)
 - NFPA 101, LIFE SAFETY CODE 2018 EDITION WITH STATE AMENDMENTS (2020) (EFFECTIVE JANUARY 1, 2020)

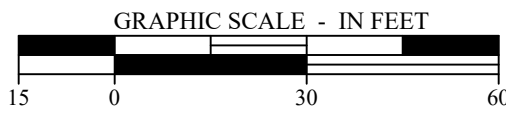
PLANS RELEASED FOR CONSTRUCTION

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR.

TOTAL AREA: 1.14 ACRES / 49,660 SQUARE FEET



LEGEND:

- | | | | | | | |
|------------------------------------|---------------|---------------------------|----------------------------|------------------------------------|-----------------------------------|-----------------|
| ○ PROPERTY CORNER FOUND (AS NOTED) | ☒ POWER METER | ☒ TELEPHONE BOX | -HB HAY BALES | CONC. CONCRETE | TP-1069.0 TOP OF FOOTER ELEVATION | 🌳 HARDWOOD TREE |
| ● 1/2" REBAR WITH CAP | ☒ POWER BOX | -W- WATER LINE | -FB FLOW WELL LINE | EOP EDGE OF PAVEMENT | -SF- SILT FENCE | 🌲 PINE TREE |
| ● SET LSF# 839 | ☒ AC UNIT | -U- OVERHEAD UTILITY LINE | NF NOW OR FORMERLY | -99- CONTOUR LINE | -O- PLASTIC MESH TREE FENCE | X TO BE REMOVED |
| ☐ R/W MONUMENT | ☒ LIGHT POLE | -S- SEWER LINE | R/W RIGHT-OF-WAY | F.F.E. FINISH FLOOR ELEVATION | -T- CHAIN LINK TREE FENCE | |
| ☒ FIRE HYDRANT | ☒ GUY WIRE | -G- GAS LINE | BSL BUILDING SETBACK LINE | B.F.E. BASEMENT FLOOR ELEVATION | - - - LIMIT OF DISTURBANCE | |
| ☒ WATER METER | ☒ MANHOLE | -C- CABLE LINE | CNTL CANTILEVER | G.F.E. GARAGE FLOOR ELEVATION | - - - DRAINAGE ARROW | |
| ☒ WATER VALVE | ☒ CLEAN OUT | -T- TELEPHONE LINE | CR.Z. CRITICAL ROOT ZONE | 1038.0 GROUND ELEVATION | | |
| ☒ POWER POLE | ☒ GAS METER | -X- FENCE LINE | STR. STRUCTURAL ROOT PLATE | 1038.0 SURFACE ELEVATION | | |
| ☒ YARD DRAINS | ☒ GAS VALVE | | (TYP.) | TW-1069.0 TOP OF WALL ELEVATION | | |
| ☒ SIGN | ☒ CABLE BOX | | L.L. LAND LOT | BW-1069.0 BOTTOM OF WALL ELEVATION | | |



PROVIDING SERVICES FOR:
METRO ATLANTA
RALEIGH-DURHAM &
CENTRAL FLORIDA

800 SATELLITE BLVD., SUWANEE, GA 30024
WWW.BOUNDARYZONE.COM (770) 271-5772



NO.	REVISION											
	REVISES PER CITY COMMENTS											
1												
2												
3												
4												
5												
6												
7												
8												
9												
10												
11												
12												

COVER SHEET

PREPARED FOR: DANIEL HUMPHRIES,
2594 CASCADE ROAD, ATLANTA GA 30311
DATE 11/05/2024

PROJECT
27029.01

SHEET
1 OF 4

BLOCK IS RESERVED FOR THE
CLERK OF THE SUPERIOR COURT

SURVEYOR'S NOTES

1. THIS SURVEY PREPARED FOR CLIENT AS SHOWN ON THIS PLAN. REPRESENTS A SPECIFIC SCOPE OF SERVICES. THERE MAY BE OTHER MATTERS OF TITLE, BURDENING OR FAVORING THE SUBJECT PROPERTY, THAT ARE NOT SHOWN HEREON.
2. THIS PLAN DOES NOT EXTEND TO ANY UNNAMED OR UNEXPRESSED INTERESTS BY THE SURVEYOR EXPRESS RECITATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY AND ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED
- 3.
4. CONVENTIONAL SURVEY MEASUREMENTS WERE OBTAINED WITH A GEOMAX ZOOM85 GNS SURVEY MEASUREMENTS WERE OBTAINED WITH A GNS SURVEY WITH A EGPS 20T GNS RECEIVER. THE COORDINATES WERE COMPUTED BY USING EGPS VRS NETWORK
5. THE FIELD MEASUREMENTS FOR THE ESTABLISHMENT OF PROJECT CONTROL WAS BASED ON A GNS SURVEY WITH A EGPS 20T GNS RECEIVER. THE COORDINATES WERE COMPUTED BY USING EGPS VRS NETWORK
6. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A RELATIVE POSITIONAL PRECISION OF 1/2 CM (0.07 FEET) PLUS 50 PARTS PER MILLION.
7. THE FIELD DATA HAS A BUREAU PRECISION OF ONE FOOT IN 22,946 FEET.
8. NO #1 DESIGN TICKET WAS ORDER FOR THIS SURVEY.
9. LAST FIELD DATE: 09/25/2024

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYING IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

VESTING PARCEL NUMBER
14020100050375

FREE AREA

1.14 ACRES (49,660 SQ.FT.), MORE OR LESS

ZONING

R-3
MINIMUM LOT AREA - 18,000 SQ.FT.
MINIMUM LOT FRONTAGE ON ROW: 100'
FRONT SETBACK: 50'
SIDE SETBACK: 10'
REAR SETBACK: 20'
MAXIMUM HEIGHT: 35'
MAXIMUM FLOOR AREA RATIO: 0.4
MAXIMUM LOT COVERAGE: 40%

SURVEYOR'S REFERENCES

1. DEED BOOK 4054, PAGE 200
2. PLAT BOOK 9, PAGE 140
3. PLAT BOOK 44, PAGE 49
4. PLAT BOOK 35, PAGE 35

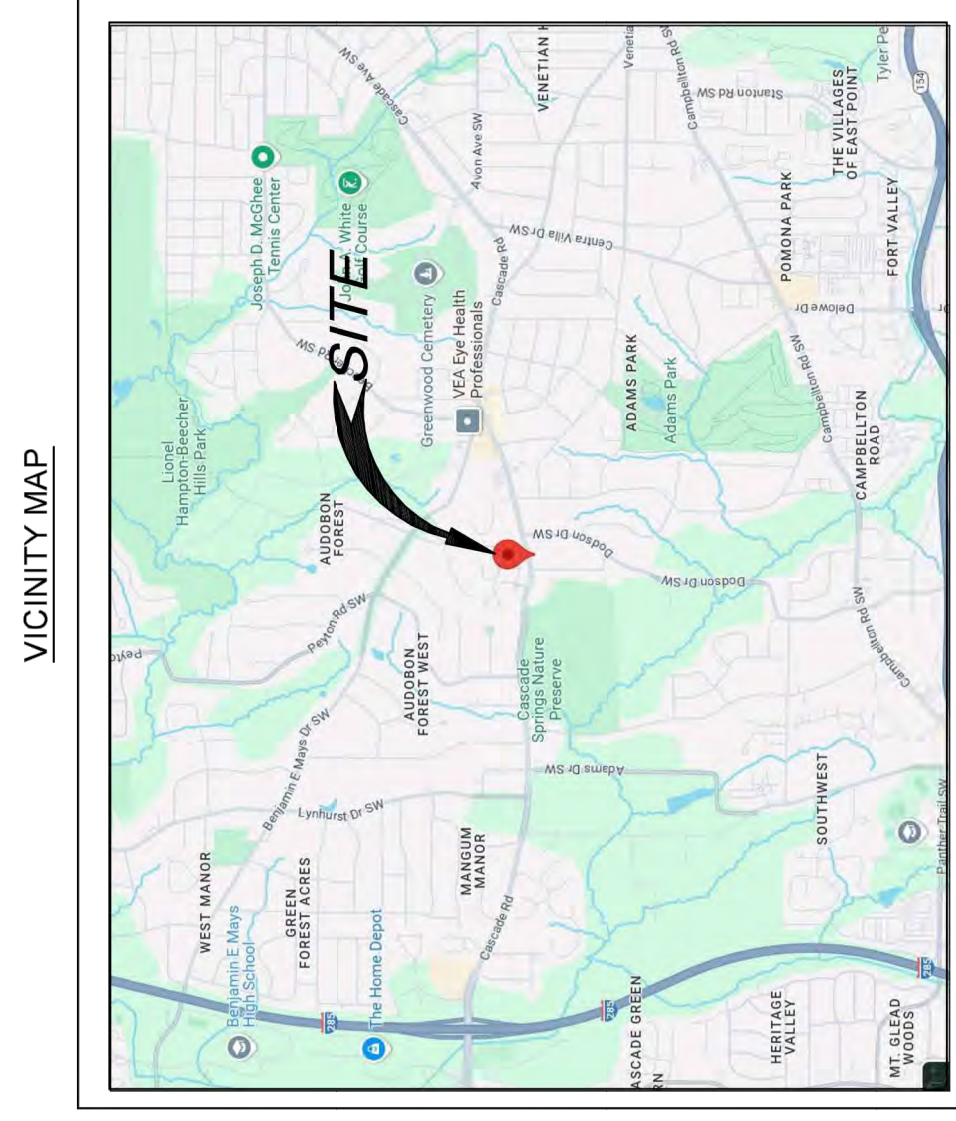
SURVEY DATA:

1. HORIZONTAL DATUM - BASED UPON THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM, NAD83 (2011), IN FEET. BEARINGS ARE BASED ON SAID COORDINATE SYSTEM AND ESTABLISHED BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS)

2. VERTICAL DATUM - NAVD88, IN FEET, ELEVATIONS OBTAINED VIA GNSS DETERMINED FROM GEOID18.
3. ALL BEARINGS AND DISTANCES SHOWN HEREON ARE SURVEYED UNLESS OTHERWISE NOTED.

FLOOD INFORMATION

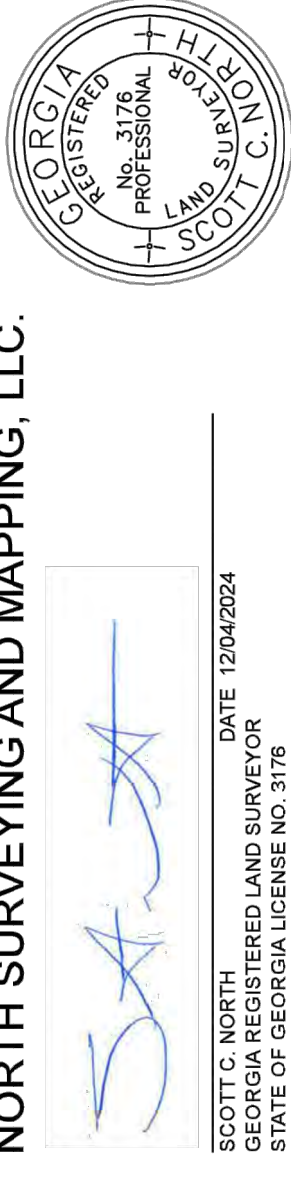
BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS NOT LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER: 13121C0351F WITH AN EFFECTIVE DATE OF SEPTEMBER 18, 2013.



CERTIFICATION:

THIS IS A RETRACTION OF AN EXISTING PARCEL OR PARCELS OF LAND AND THIS PLAT DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY. BOUNDARIES, THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREIN. RECDORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY FOR PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUBSERGIONAL LAND ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS OF THE NATIONAL BOARD OF SURVEYORS AND REGISTRATION FOR PROFESSIONAL ENGINEERS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

NORTH SURVEYING AND MAPPING, LLC.



SCOTT C. NORTH
GEORGIA REGISTERED LAND SURVEYOR
STATE OF GEORGIA LICENSE NO. 3176

DATE 12/04/2024

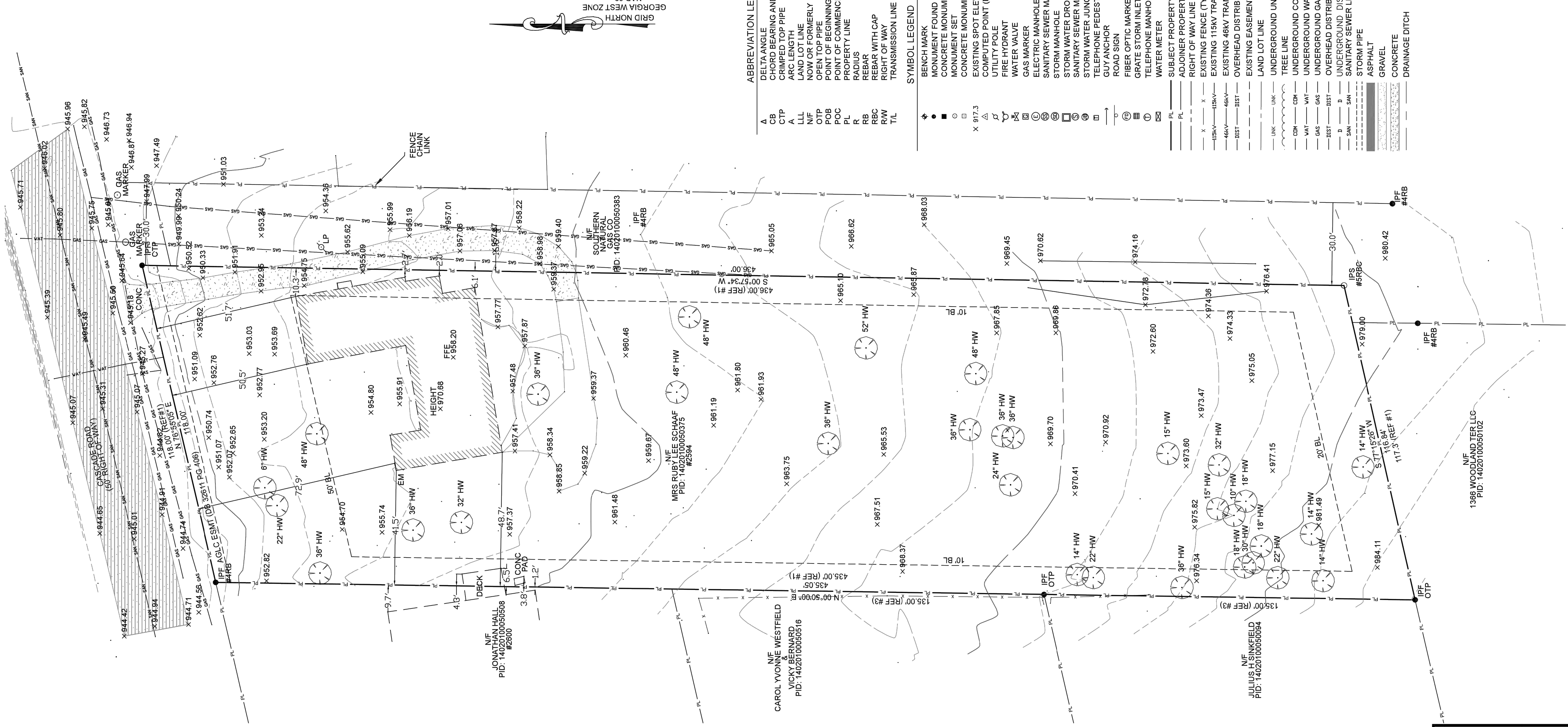


NORTH
SURVEYING & MAPPING

1071 DEAN DRIVE NW
ATLANTA GEORGIA 30318
404-203-1147
GEORGIA COA: LCF001411

BOUNDARY & TOPOGRAPHIC SURVEY OF
PID 14020100050375
2594 CASCADE ROAD, ATLANTA,
FULTON COUNTY GEORGIA
FOR DANIEL HUMPHRIES

SHEET 1 OF 1



R#	DATE BY	COMMENT
1	10/28	SN REVISED PROPERTY LINE
2	12/04	SN REVISED STREET NAME/TREE

PROJECT NAME- 2594 CASCADE ROAD

PROJECT #: 2400226

DATE: 10/07/2024
SCALE: 1"=20'

SURVEYOR: SCOTT NORTH

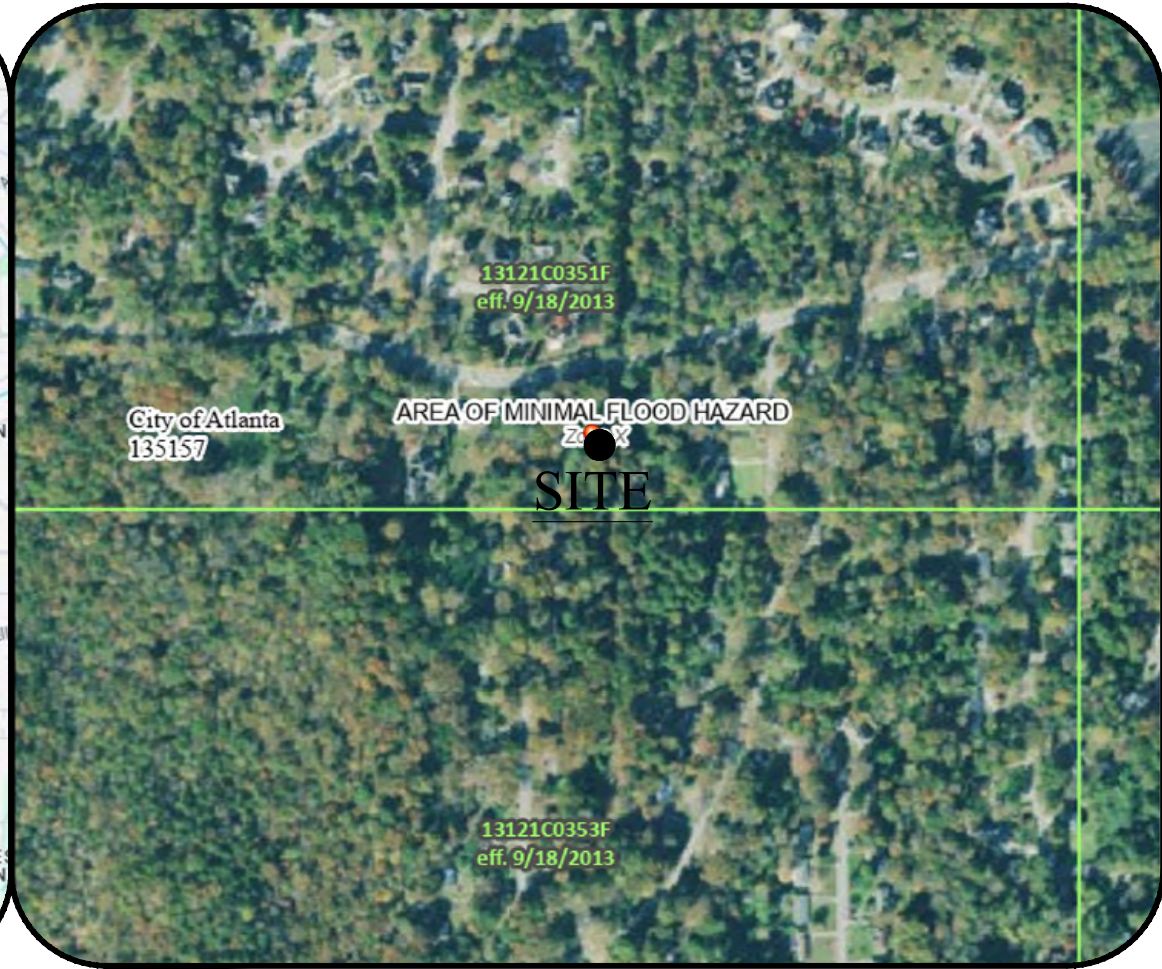
TECHNICIAN: SCOTT NORTH
CREW CHIEF: MITCHELL RUTLEDGE/CH

FIELD BOOK: 24-002

LAND LOT 114, 17TH DISTRICT, FULTON COUNTY, GEORGIA
PART OF LOT 1, BLOCK A, PACES FERRY ROAD DEVELOPMENT



GRAPHIC SCALE - FEET



Vicinity Map(NTS)

ZONING: R-3

MINIMUM FRONTAGE: 100 FT
MINIMUM LOT AREA: 18,000 SF

R-3 SETBACKS

FRONT: 50 FT
SIDE: 10 FT
REAR: 25 FT
BUILDING HEIGHT: 35 FT
MAXIMUM F.A.R.: 0.40
MAXIMUM COVERAGE: 40%

BOUNDARY ZONE, INC. IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

DANIEL HUMPHRIES
2594 CASCADE ROAD
ATLANTA GA 30311
678-997-9737

BUILDER / 24 HR. EMERGENCY CONTACT

CROSBY CONSTRUCTION CONSULTING, LLC
NATHAN CROSBY
115 TOWNSEND TEAGUE ROAD NE
FAIRMOUNT, GA 30139
678-779-1651

SITE NOTES:

- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF ATLANTA AND FULTON COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY, NEED QUALIFIED CONTRACTOR PERMIT.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ATLANTA REQUIREMENTS AND THE SIDEWALK REPLACED.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

LANDSCAPE NOTES:

- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE DRIP LINE OF ANY TREES (USE STACKED HAYBALES OR SANDBAGS)
- ANY DEMOLITION OR TREES REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF ATLANTA TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE CITY OF ATLANTA ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE, OR PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO THE CONNECTION OF PERMANENT POWER FOR THAT PHASE. CONTACT THE CITY OF ATLANTA ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

ISSUING AUTHORITY CONTACTS:

CITY OF ATLANTA OFFICE OF BUILDINGS: (404) 330-6155
CITY OF ATLANTA INSPECTIONS: (404) 865-8400
CITY OF ATLANTA ARBORIST: (404) 330-6874
CITY OF ATLANTA ZONING: (404) 330-6175
FULTON COUNTY WATER AND SEWER: (404) 730-6830

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

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TOTAL AREA: 1.14 AC

BEFORE STARTING ANY LAND-DISTURBING ACTIVITIES, THE CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH EROSION & SEDIMENT CONTROL.

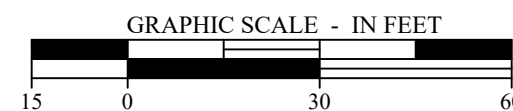
CALL (404) 546 -1305

FAILURE TO SCHEDULE MAY RESULT IN A STOP WORK ORDER OR PERMIT REVOCATION.



- SEWER ACCESS AUTHORIZATION FORM TO BE SUBMITTED TO SITE DEVELOPMENT AND PUBLIC WORKS FOR THE NEW SEWER TAP IN THE PUBLIC RIGHT OF WAY PRIOR TO INSTALLATION

- SEE ATTACHED FORM ON THE PLANS.



- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET LSW# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- HAY BALES
- FLOW WELL LINE
- RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CUTLINE
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- LAND LOT

GENERAL NOTES:

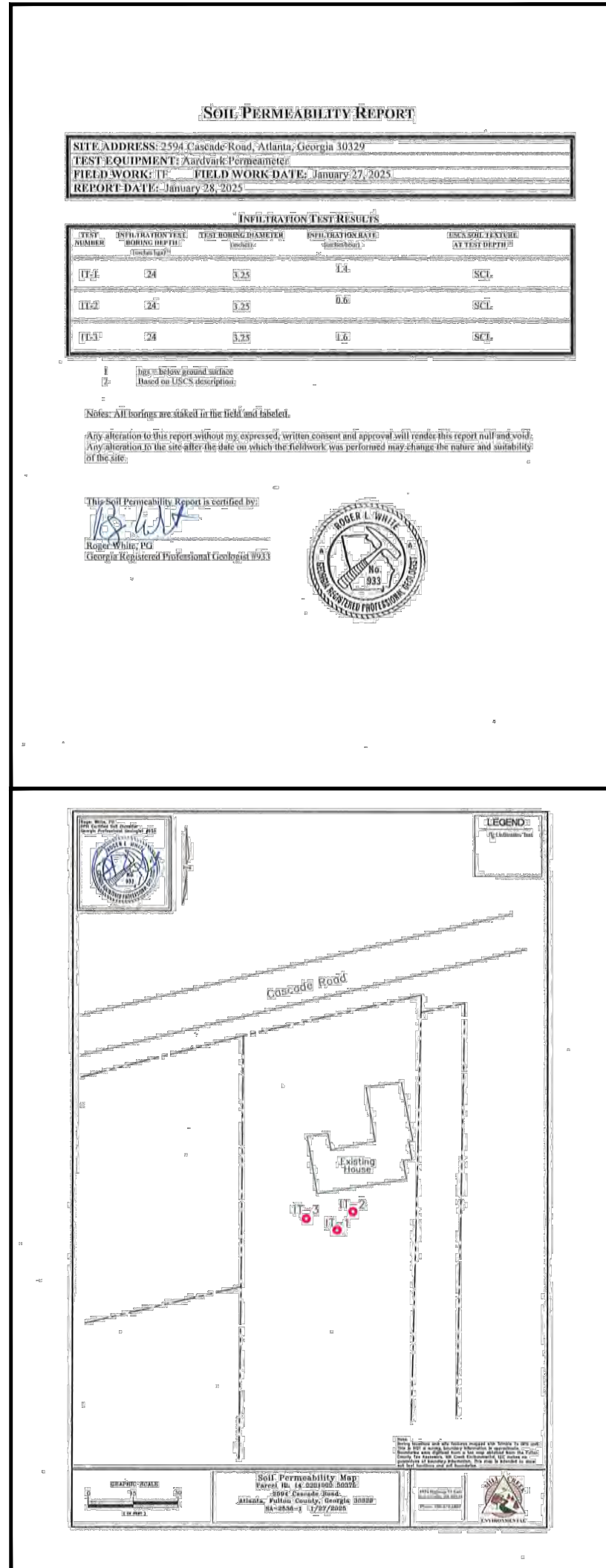
- SITE LOCATION: 2594 CASCADE ROAD, ATLANTA GA 30311
- PROJECT NARRATIVE: CONSTRUCTION OF A SINGLE FAMILY RESIDENCE (SEE ARCHITECTURAL PLANS FOR MORE DETAIL)
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE WALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

DISTURBED AREA:
20,110 SQ. FT / 0.46 ACRES

CUT DIRT: 43.36 CY
FILL DIRT: 1096.76 CY

EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN <5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.



OFFICE OF WATERSHED PROTECTION
Site DEVELOPMENT: (404) 330-6249

This plan was reviewed for compliance with City of Atlanta rules, regulations, and standards, and is approved as to concept, and materials for grading, stormwater mgmt., erosion and sediment control, storm and sanitary sewer, and paving. However, approval does not relieve the property owner, contractor, or designer of responsibility or liability for damage to adjacent or downstream properties, and shall not constitute an assumption of liability by the City of Atlanta for damages caused by construction or grading. Approval does not relieve the obligation to meet all other applicable City, state, or federal requirements.

Zuri Mabry
Plan Reviewer (Print Name)
3.06.2025
Date

Zuri Mabry
Signature

A SEPARATE, QUALIFIED CONTRACTOR PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.

Apron and Sewer Connection

water shed management

**SURVEY PROVIDE BY OTHERS
PLANS RELEASED FOR CONSTRUCTION**

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- X TO BE REMOVED



CONSTRUCTION LEGEND

Co	CONSTRUCTION EXIT
Cw	CONCRETE WASHDOWN
C1	CONSTRUCTION OF NEW HOUSE
C2	CONSTRUCTION OF FRONT, REAR PORCH, PATIO, WALK
C3	CONSTRUCTION OF DRIVEWAY
SA	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
Du	DUST CONTROL AREA AND WASH STATION

POST-CONSTRUCTION IMPERVIOUS AREA

AREA	Sq. Ft.
LOT AREA	49,660
PROPOSED HOUSE	2,837
PROPOSED GARAGE	935
PROPOSED FRONT PORCH	80
PROPOSED REAR PORCH & PATIO	570
PROPOSED FRONT WALK	250
PROPOSED DRIVE	4,065

TOTAL COVERAGE 18%

PRE-CONSTRUCTION IMPERVIOUS AREA

AREA	Sq. Ft.
LOT AREA	49,660
EXISTING HOUSE	2,860
EXISTING DRIVE	2,872
EXISTING A/C PAD	12

TOTAL COVERAGE 12%

TREE DENSITY TABLE				
	TREE QTY	DBH in	TOTAL DBH in	TREES REMOVED
TOTAL	20	6	440	0
1	6	6	6	6
1	10	10	10	10
4	14	56	56	56
2	15	30	30	30
3	18	54	54	54
1	32	66	66	66
3	20	30	30	30
1	32	32	32	32
3	36	108	108	108
1	48	48	48	48

MAXIMUM RECOMPENSE= \$5,000 PER ACRE 100 INCHES OF TREES PER ACRE		
LOT=	1.140	AC= 40 INCHES
PRE-CONSTRUCTION TREE COVERAGE= 440 "		
MINIMUM DBH INCHES FOR R-3 ZONE= 40 "		
PERCENTAGE SAVED ON SITE= 440 "		
NEW PLANTING ON SITE= 0 "		
TOTAL POST CONSTRUCTION PERCENTAGE= 440 "		

ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED

USE EXISTING WATER, SEWER AND GAS CONNECTIONS

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

JIAORONG LUO, LEVEL II DESIGN PROFESSIONAL # 89028



DATE	02-04-2025
REVISION	
REVISIONS PER CITY COMMENTS	
NO.	1
NO.	2
NO.	3
NO.	4
NO.	5
NO.	6
NO.	7
NO.	8
NO.	9
NO.	10
NO.	11
NO.	12

SITE PLAN

PREPARED FOR: DANIEL HUMPHRIES,
2594 CASCADE ROAD, ATLANTA GA 30311
DATE 11/05/2024



FOR THE FIRM
BOUNDARY ZONE, INC.

PROJECT
27029.01
SHEET
3 OF 4



SANITARY SEWER ACCESS AUTHORIZATION FORM



Completion of this document is a necessary condition for any private entity to perform work on any part of the City of Atlanta Sanitary Sewerage System and the Right of Way. This Form must be on-site whenever work is underway.

PERMIT # _____

ONE FORM PER TAP OR LATERAL

SUBDIVISION # _____

Location and Type of Work	Site Address: _____	
	Location Description: _____	
	Description of work: _____	
	Estimated Duration: From: _____ To: _____	
Responsible Party	Name of Owner or Corporation: _____	
	Owner's Address: _____	
	Authorized Representative: _____	
	24-Hour Contact number: _____	
Design Approval	Site Development (O: 404-330-6249)	Date Signed: _____
	Print Name: _____	Signature: _____
	ATTENTION: BLUE STICKER REQUIRED ON PLANS	
	ATLDOT (O: 404-330-6501, ATLDOT@AtlantaGa.gov)	Date Signed: _____
Joint Pre-Construction	Print Name: _____	Signature: _____
	ATLDOT	Date Signed: _____
	Print Name: _____	Signature: _____
	Watershed Protection – Erosion Control	Date Signed: _____
Final Inspection	Print Name: _____	Signature: _____
	ATLDOT	Date Signed: _____
	Print Name: _____	Signature: _____
	Watershed	Date Signed: _____

Signatures of authorized City of Atlanta representatives indicate a good faith review or inspection for compliance with City of Atlanta minimum standards. Approval shall in no way relieve the owner or contractor of responsibility for any damage to any other property or any liabilities resulting therefrom and does not constitute an assumption of liability by the City of Atlanta.

A separate Qualified Contractor Permit issued by the Atlanta Department of Transportation (**ATLDOT**) is required for any activity and work within the Public Right-of-Way.

Start My New Sanitary Sewer Connection

Starting sewer connect is as EASY As 1-2-3-4!

STEP 1 Secure a blank sewer access form available on Site Development website

STEP 2 Complete Form **(Administrative)**

- Enter site specific required information at the top of the form, including any separate unit # or suite # design
- Achieve sewer connect design approval from Site Development to include signature in design approval signature block.
- Apply for and secure ATL DOT approval and permit to work in the right-of-way to include signature in design approval signature block.

STEP 3 Complete Form **(Field)**

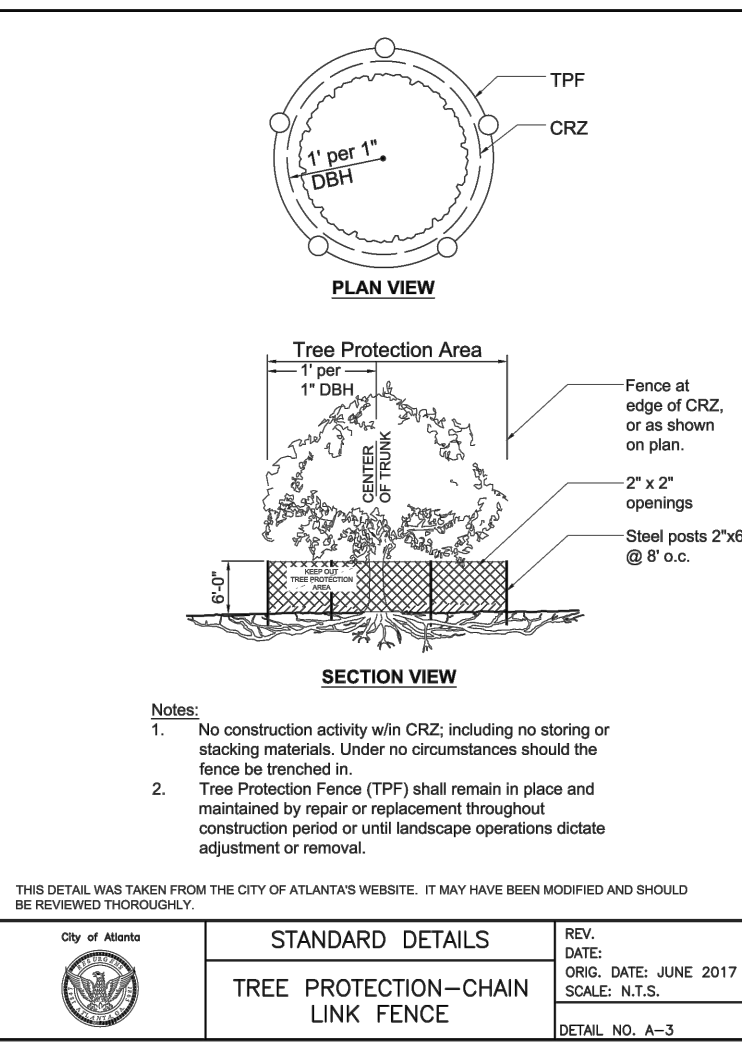
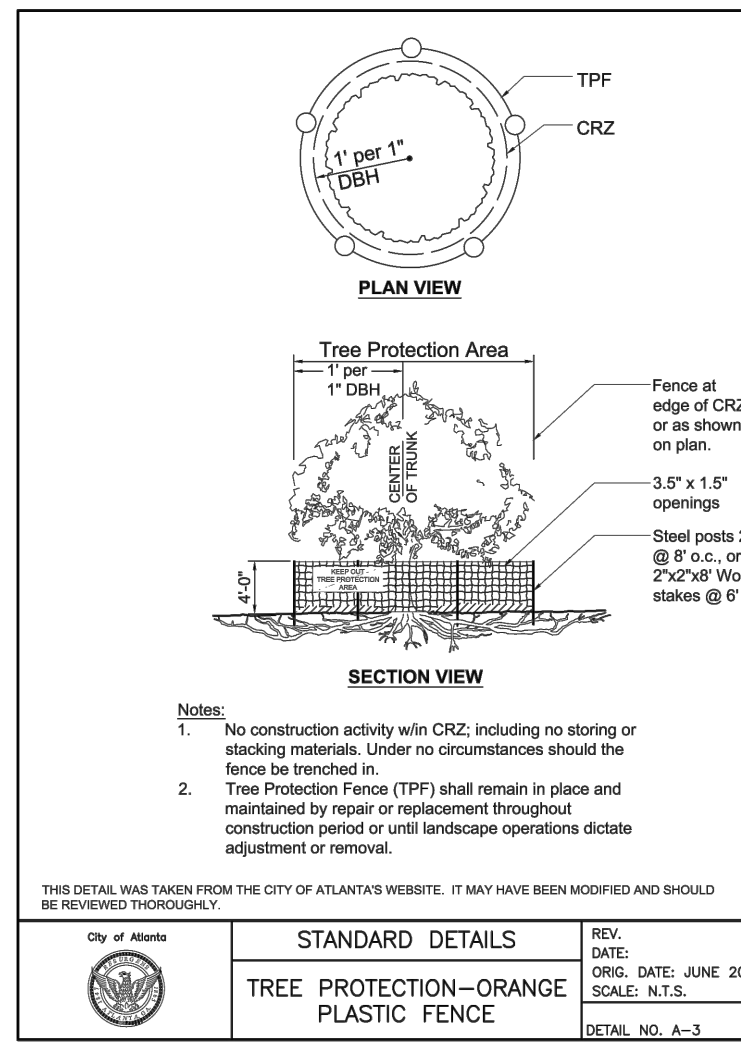
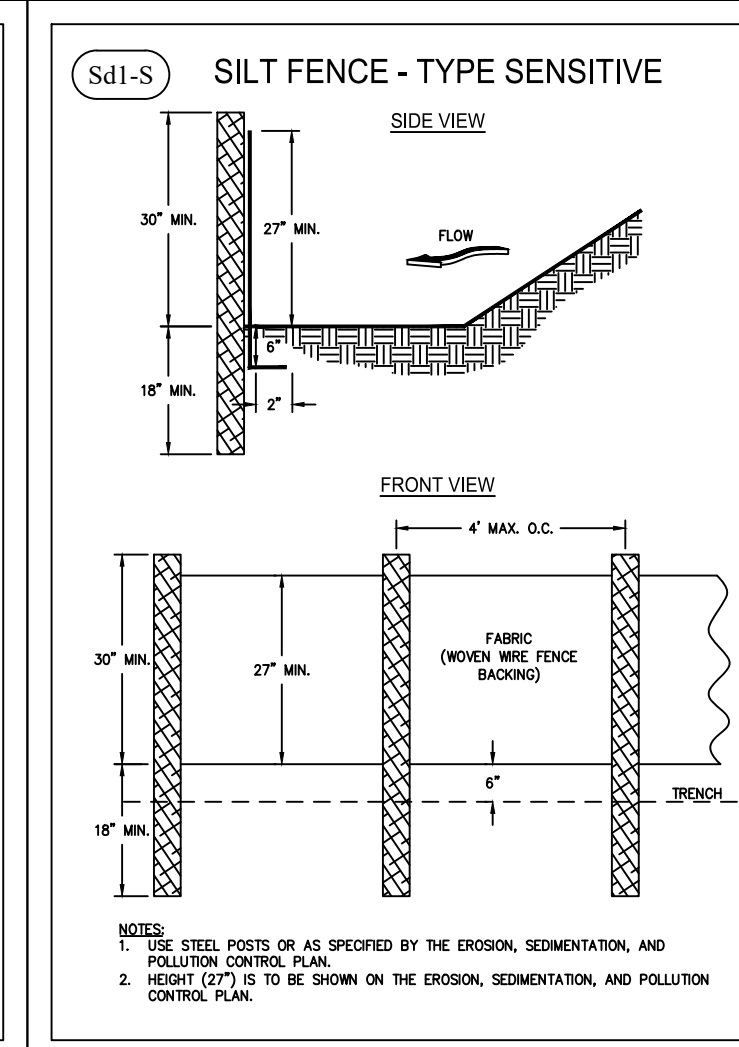
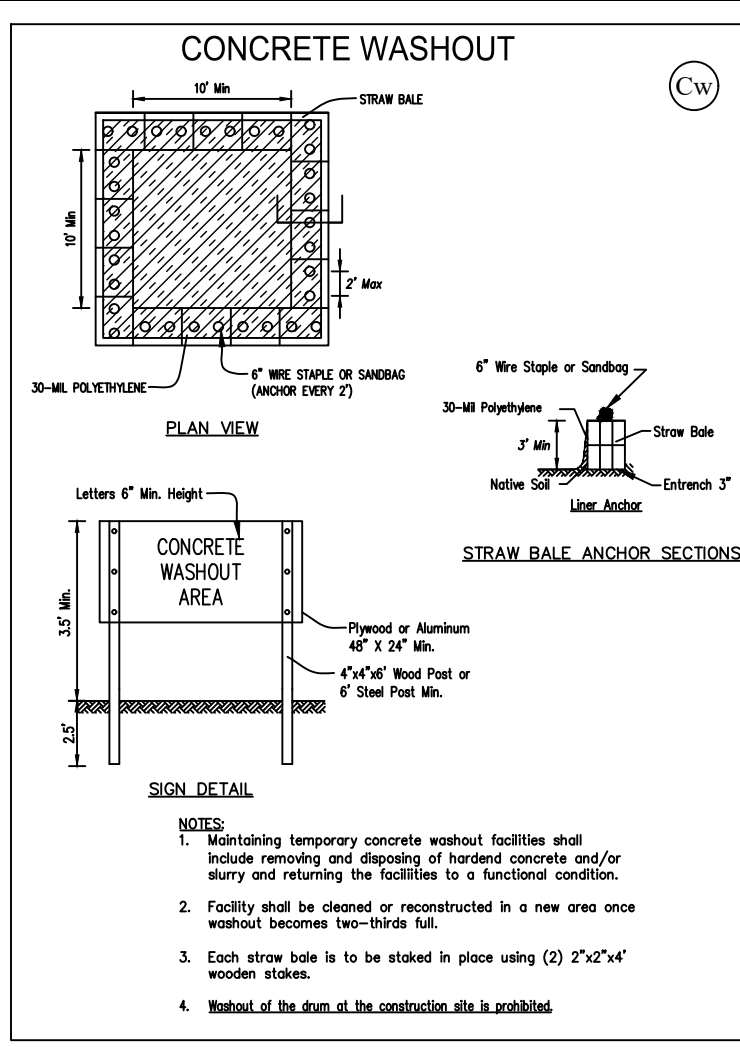
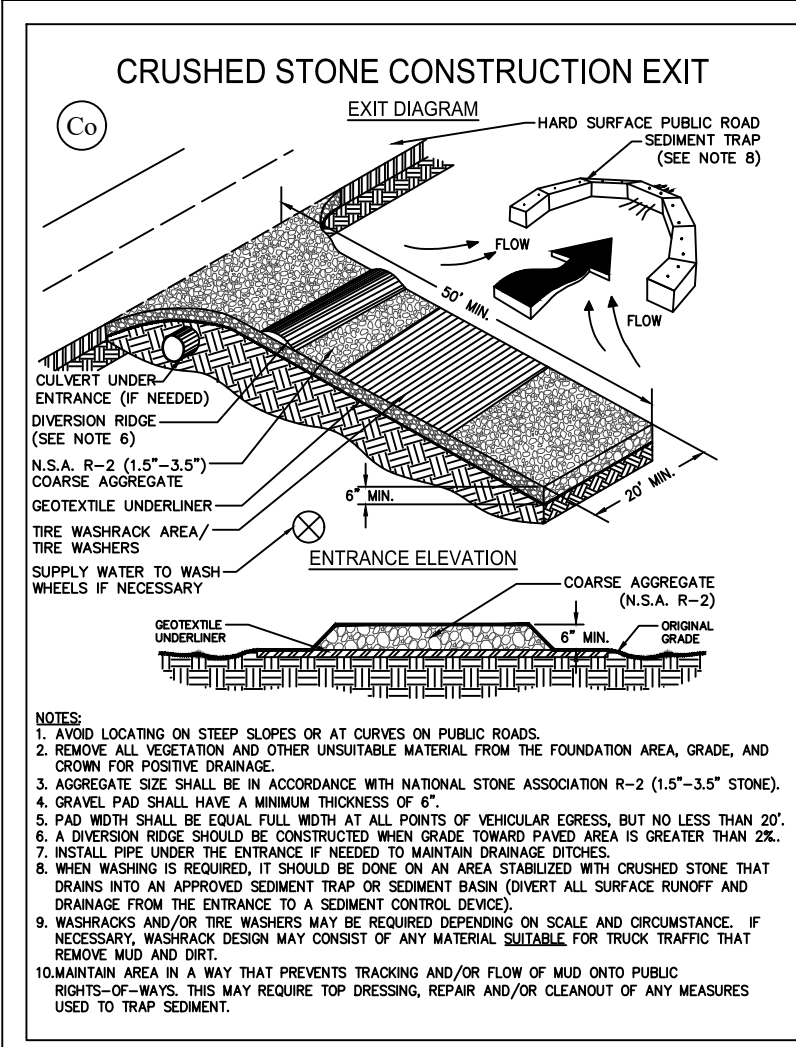
- Schedule a Pre-Construction meeting with the Department of Watershed Management at 404-546-1305 and with ATL DOT at the number provided by ATL DOT at permitting. Receive signature from each entity in Pre-Construction signature blocks at field Pre-construction meeting.
- Schedule a final inspection with the Department of Watershed Management at 404-546-1305.
 - This inspection will include the actual connection and the first 24 inches of backfill
 - **Inspection requests after backfilling will result in the connection being required to be uncovered for a visual inspection. CCTV footage is not acceptable.**
 - Obtain Department of Watershed Management signature in Final Inspection signature block.
- Schedule a final inspection with ATL DOT for remaining backfill and restoration of the road. Obtain ATL DOT signature in Final Inspection signature block.

STEP 4 Return Form to Site Development Plan Reviewer

- City inspectors do not retain a copy of the form.
- The applicant or project representative is required to submit the fully executed form to Site Development.

NOTES:

- Re-use of any existing service lateral requires CCTV with DWM inspector present at both pre-construction and post-construction. These inspections will be documented in Accela by the DWM inspections team.
- If the proposed sewer connection on the approved site plan changes (i.e. from new to existing or from existing to new), then a Revision to Issued permit through the building department is required by Site Development approval prior to final site sign-off.



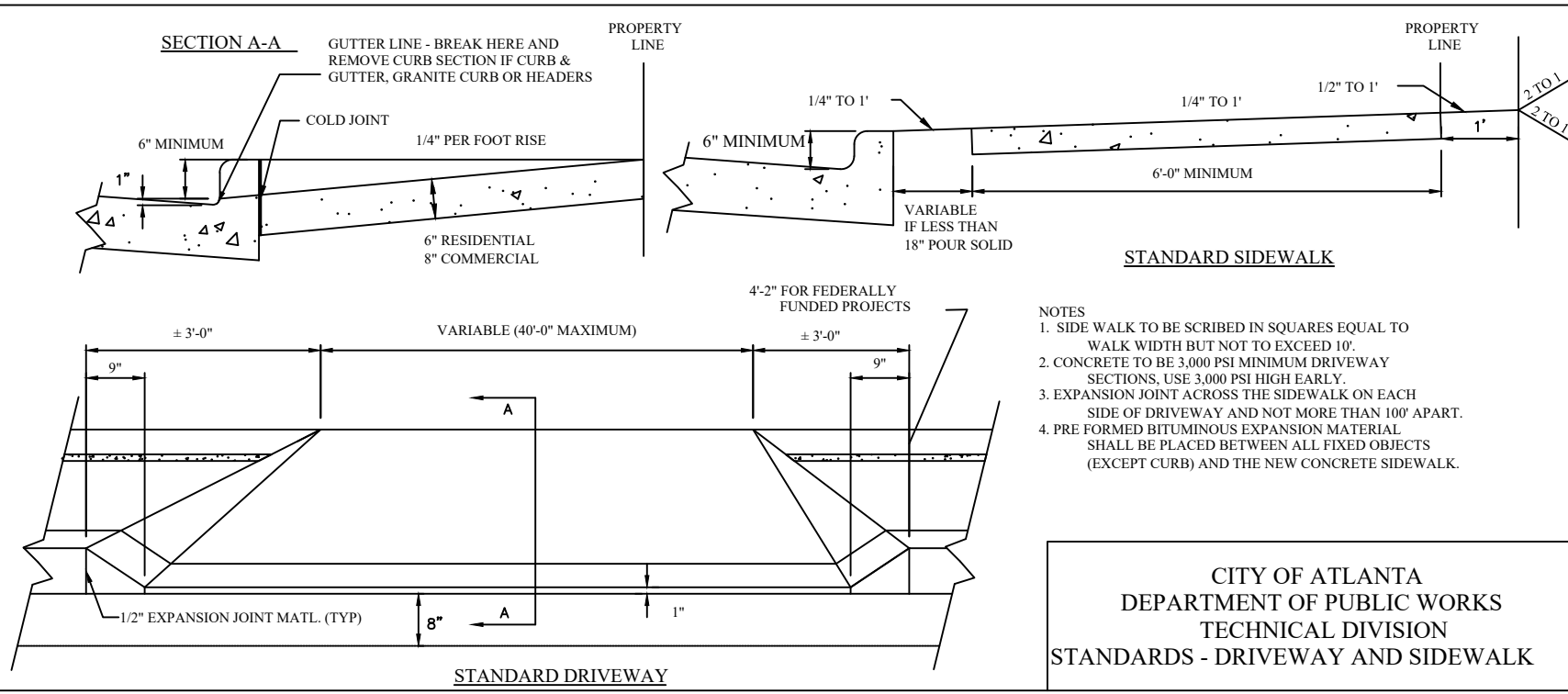
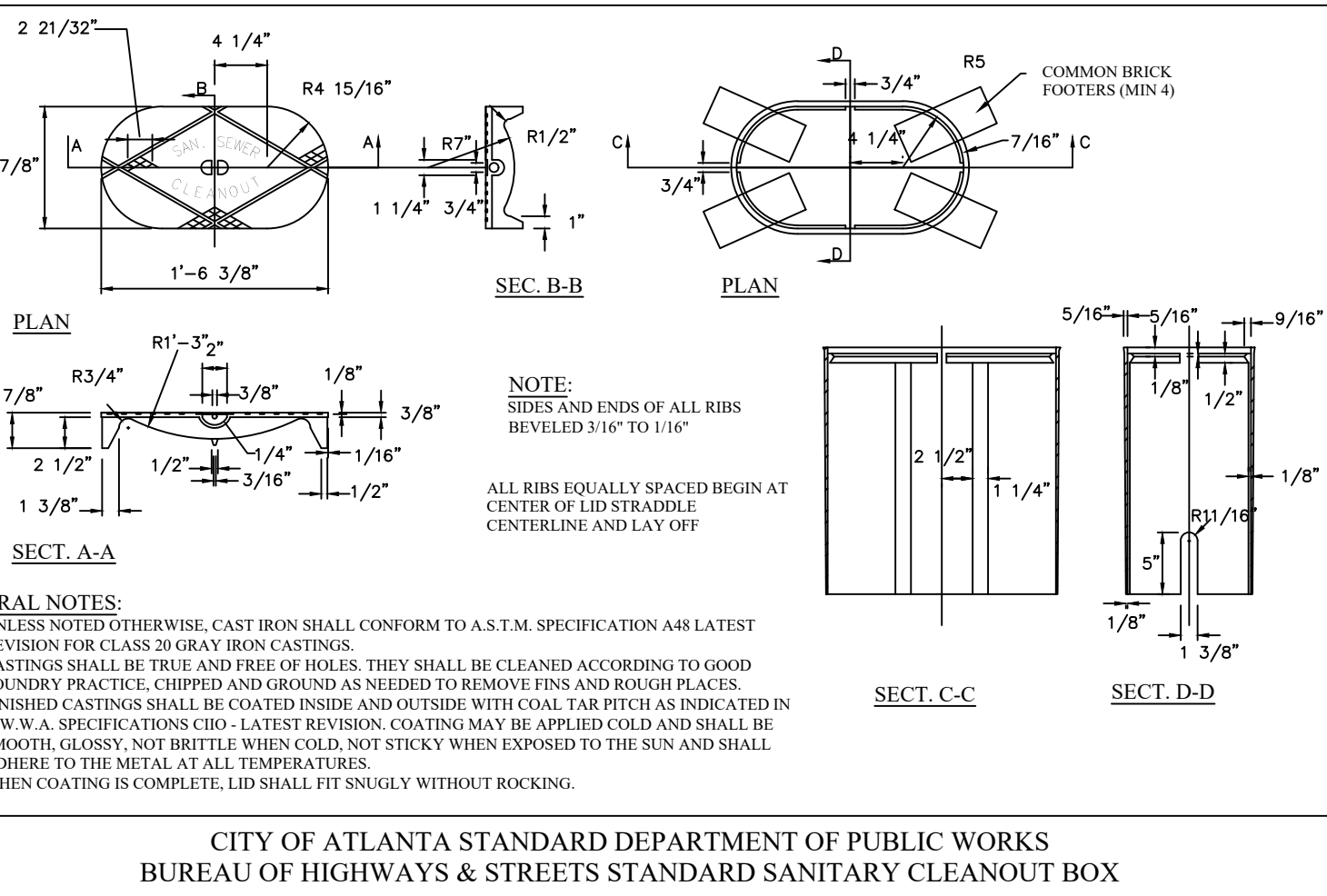
GRASSING SCHEDULE (HYDROSEEDING RATES)						
SPECIES	RATE/1000S.F.	DATES	LIME	FERTILIZER (LBS./ACRE)	P205	K20
KY 31	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
PESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
WINTER RYE	1-1/2 - 2 LBS.	3/1-4/1				
*WEEPING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

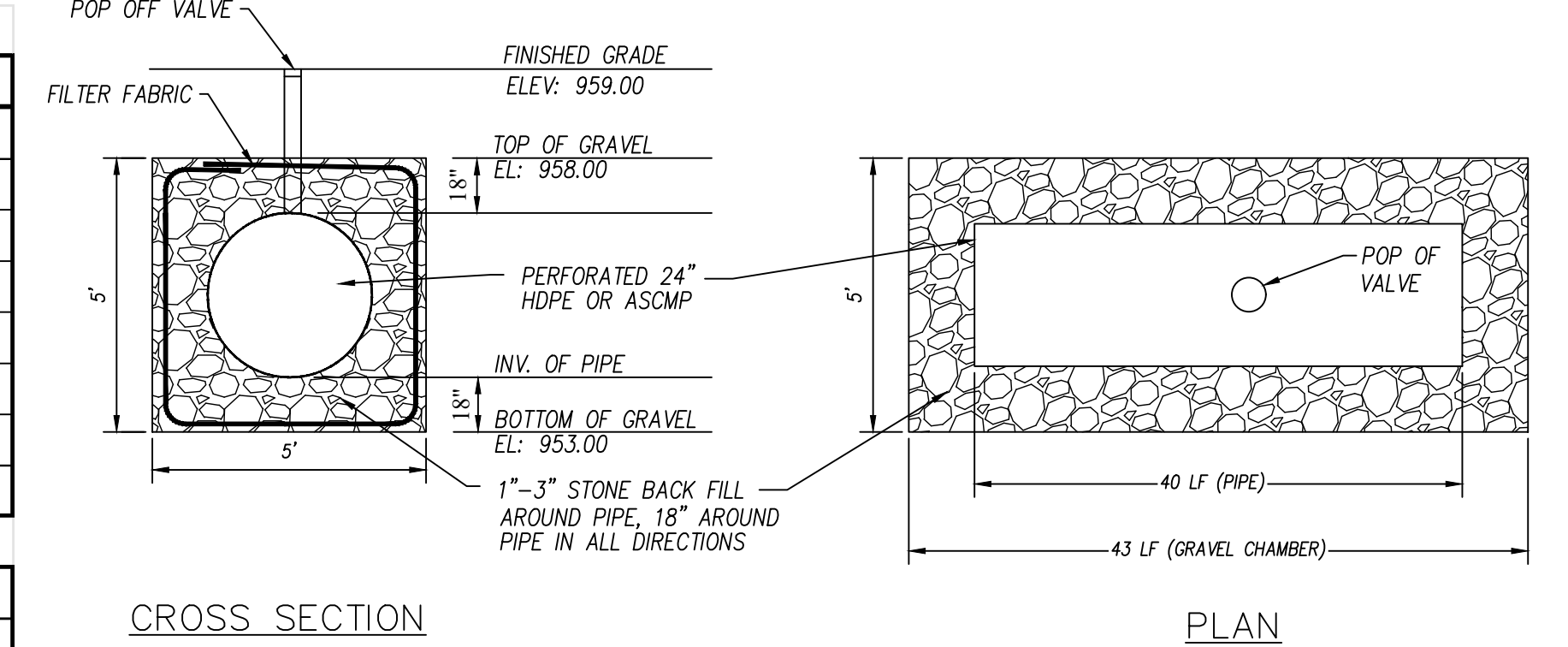
*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

ACTIVITY SCHEDULE										
NO. OF MONTHS	0	2	4	6	8	10	12	14		
HOUSE CONSTRUCTION										
CLEAR AND GRUB										
ROUGH GRADING										
FINISH GRADING										
UTILITIES										
PAVING										
GRASSING/CLEAN UP										
EROSION CONTROL MEASURES										

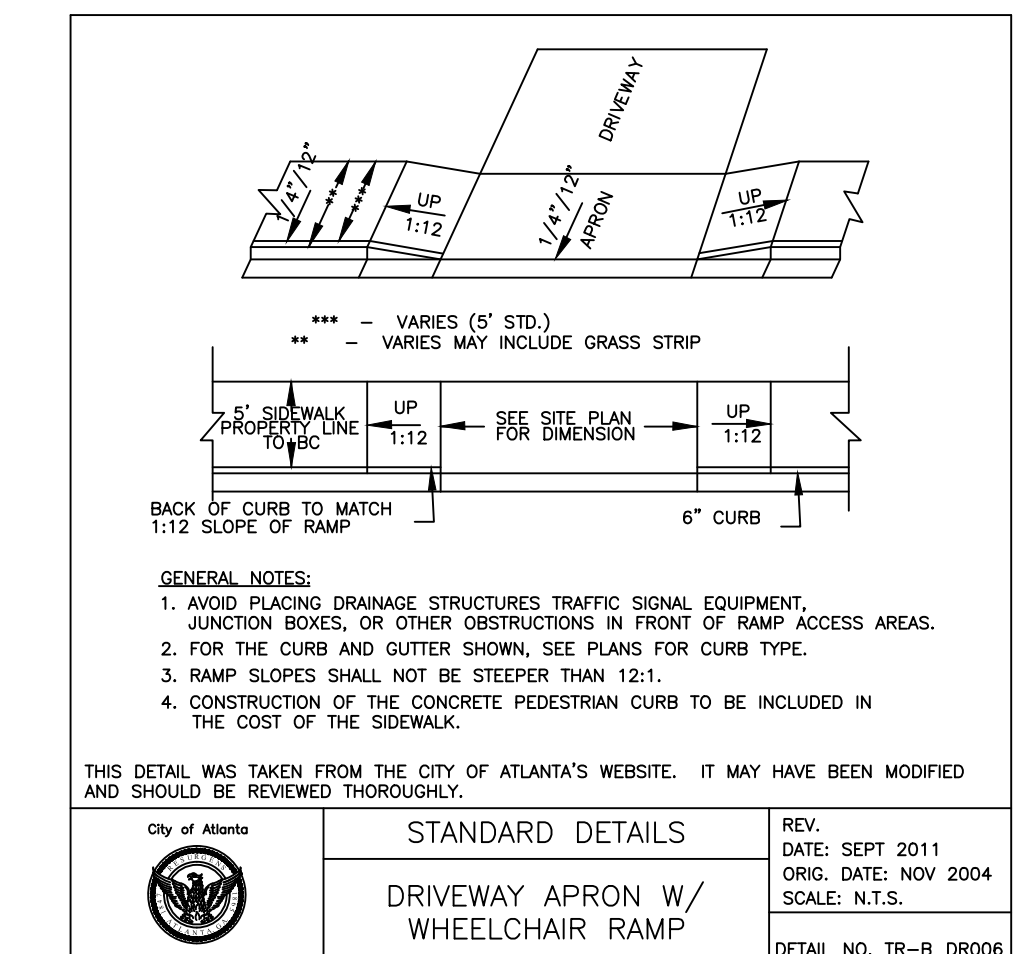
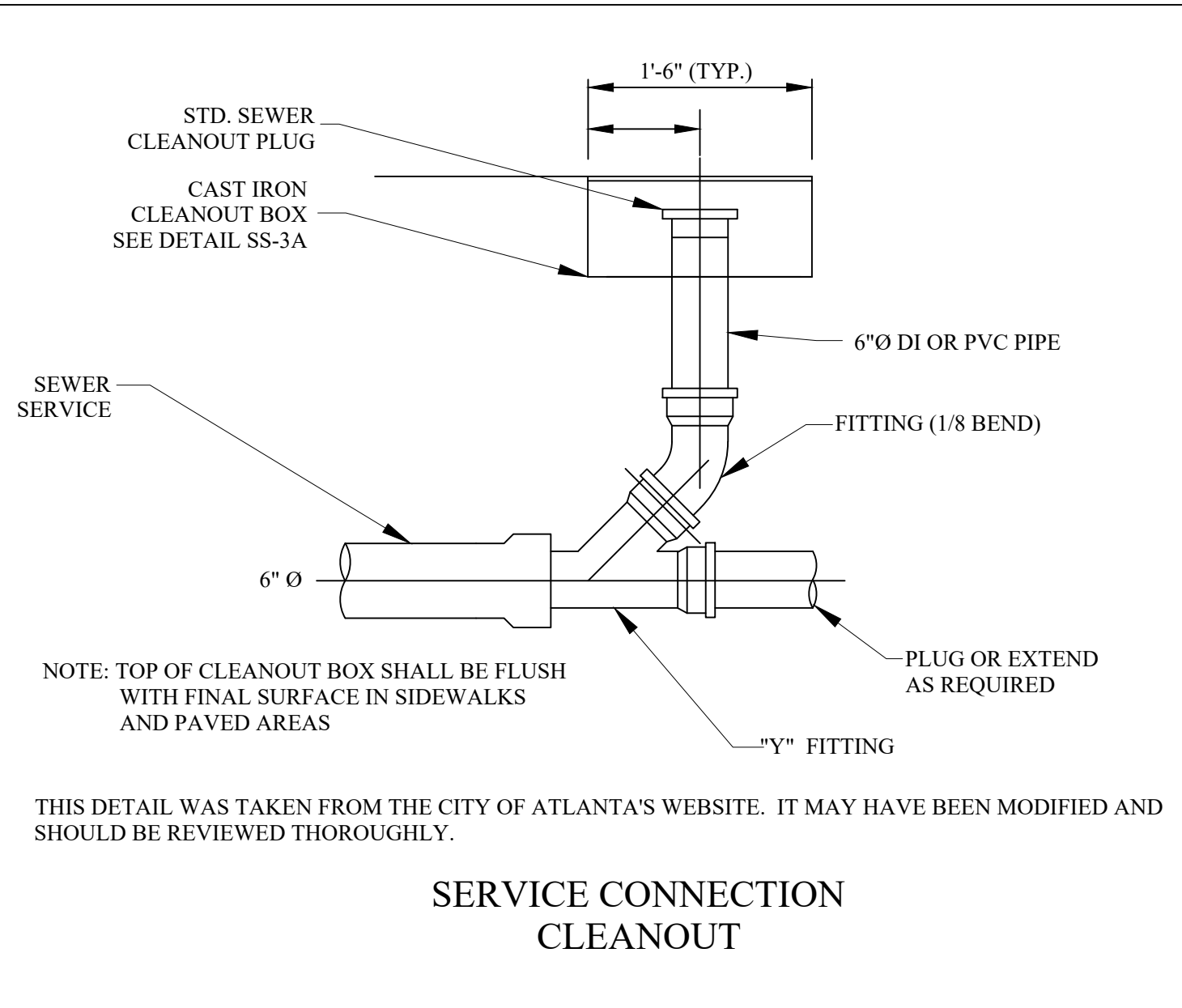


WQ & RR VOLUME CALCULATIONS		
STORM WATER VOLUME - BASIN #1		
TOTAL DISTURBED AREA (A)	20,110	SF
IMPERVIOUS AREA	8737	SF
% IMPERVIOUS AREA	43.45	%
RUNOFF	1.2	INCHES
RUNOFF COEFFICIENT (Rv)	0.44	UNITLESS
DIVISIBLE	12	
MINIMUM VOLUME REQUIRED	887	CF
TARGET WQV AND RRV	900	CF



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PLANS RELEASED FOR CONSTRUCTION

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR OR NAMING SAID PERSON.

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TOTAL AREA: 1.14 ACRES / 49,660 SQUARE FEET

- LEGEND:**
- PROPERTY CORNER FOUND (AS NOTED)
 - 1/2" REBAR WITH CAP SET LSF# 839
 - R/W MONUMENT
 - ▲ FIRE HYDRANT
 - ⊗ WATER METER
 - ⊗ WATER VALVE
 - ⊗ POWER POLE
 - ⊗ YARD DRAINS
 - ⊗ SIGN
 - ⊗ POWER METER
 - ⊗ POWER BOX
 - ⊗ AC UNIT
 - ⊗ LIGHT POLE
 - ⊗ GUY WIRE
 - ⊗ MANHOLE
 - ⊗ CLEAN OUT
 - ⊗ GAS METER
 - ⊗ GAS VALVE
 - ⊗ CABLE BOX
 - ⊗ TELEPHONE BOX
 - ⊗ W- WATER LINE
 - ⊗ U- OVERHEAD UTILITY LINE
 - ⊗ S- SEWER LINE
 - ⊗ G- GAS LINE
 - ⊗ C- CABLE LINE
 - ⊗ T- TELEPHONE LINE
 - ⊗ X- FENCE LINE
 - ⊗ SF- SILT FENCE
 - ⊗ O- TREE PROTECTION
 - ⊗ H- HAY BALES
 - ⊗ FW- FLOW WELL LINE
 - ⊗ NF- NON-OR FORMERLY
 - ⊗ R/W- RIGHT-OF-WAY
 - ⊗ BSL- BUILDING SETBACK LINE
 - ⊗ CNTL- CANTILEVER
 - ⊗ CR.Z- CRITICAL ROOT ZONE
 - ⊗ S.R.P- STRUCTURAL ROOT PLATE (TYP.)
 - ⊗ L.L- LAND LOT

- CONC. CONCRETE**
- TOP OF FOOTER ELEVATION**
- EDGE OF PAVEMENT**
- NON-OR FORMERLY**
- FINISH FLOOR ELEVATION**
- BASEMENT FLOOR ELEVATION**
- GARAGE FLOOR ELEVATION**
- GROUND ELEVATION**
- SURFACE ELEVATION**
- TOP OF WALL ELEVATION**
- BOTTOM OF WALL ELEVATION**
- TREE LEGEND**
- HARDWOOD TREE**
- PINE TREE**
- TO BE REMOVED**



PROVIDING SERVICES FOR:
METRO ATLANTA, RALEIGH-DURHAM & CENTRAL FLORIDA

800 SATELLITE BLVD., SUWANEE, GA 30024
WWW.BOUNDARYZONE.COM (770) 271-5772

PROJECT
27029.01

SHEET
4 OF 4

PREPARED FOR: DANIEL HUMPHRIES,
2594 CASCADE ROAD, ATLANTA GA 30311
DATE 11/05/2024

DETAILS



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

Jiarong Luo, LEVEL II DESIGN PROFESSIONAL # 89028