

## **Letter of Response**

To whom it may concern,

The following corrections were made to the plans titled "The Aria":

- 1.A demo permit will be applied for by the builder or his representative.
- 2.Window labeled "G" has been labeled as tempered glass to comply with R308.4.5.
- 3.Window schedule has been updated to notate egress to meet requirements of R310.2.
- 4.Stamped Truss package will be uploaded by the builder or applicant.
- 5.Sheet S5 has been updated to show a vapor barrier at slab per R506.2.3.

Sanjay Sanverma

# THE ARIA

APPLICABLE CODES:  
AMENDMENTS (2020); INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS; INTERNATIONAL FIRE CODE, 2018 EDITION, (NO GEORGIA AMENDMENTS); INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS; INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS; INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS; INTERNATIONAL ELECTRICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS; INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS; INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS.

## SCOPE OF WORK: NEW 4 BEDROOM, 3 1/2 BATH SINGLE FAMILY HOME

### DRAWING LIST:

- C1 COVER PAGE
- A1 FLOOR PLAN
- A2 ROOF PLAN
- A3 FRONT AND REAR ELEVATION
- A4 RIGHT AND LEFT ELEVATION
- A5 INTERIOR ELEVATIONS
- E1 ELECTRICAL PLAN
- P1 PLUMBING PLAN
- M1 HVAC PLAN
- S1 ROOF FRAMING PLAN
- S2 WALL FRAMING PLAN
- S3 CEILING JOIST PLAN
- S4 FOUNDATION PLAN
- S5 FOUNDATION DETAIL
- INTERIOR BEARING FOOTING
- C-TYPICAL COLUMN DETAIL
- WALL SECTION
- S6 SECTION A-A AND SECTION B-B
- S7 TYPICAL FRAMING DETAILS-1
- S8 TYPICAL FRAMING DETAILS-2
- S9 TYPICAL FRAMING DETAILS-3

### GENERAL NOTES:

THIS PLAN WAS DESIGNED AND CRAFTED BY "SANVERMA DESIGN", TO MEET AVERAGE CONDITIONS AND CODES IN THE STATE AND AT THE TIME IT WAS DESIGNED. THIS PLAN WAS ALSO DESIGNED FOR SEISMIC SITE CLASS D, BECAUSE CODES AND REQUIREMENTS CAN CHANGE AND MAY VARY FROM JURISDICTION TO JURISDICTION, CANNOT WARRANT COMPLIANCE WITH ANY SPECIFIC CODE OR REGULATION. CONSULT YOUR LOCAL BUILDING OFFICIAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATION. THIS PLAN CAN BE ADAPTED TO YOUR LOCAL BUILDING CODES AND REQUIREMENTS, HOWEVER, IT IS THE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE AND FEDERAL). THE PURCHASER AND/OR BUILDER OF THIS PLAN RELEASES THE DESIGNER FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANYTIME THEREAFTER.

- IF THE CONTRACTOR OR SUB-CONTRACTOR, IN THE COURSE OF THEIR WORK FINDS ANY DISCREPANCIES BETWEEN THE PLAN AND THE PHYSICAL CONDITIONS OF THE SITE OR STRUCTURE, OR ANY ERRORS IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THEIR RESPONSIBILITY TO IMMEDIATELY INFORM ADI, WHO WILL PROMPTLY VERIFY AND IF NECESSARY CORRECT THE WORKING DRAWINGS. ANY WORK DONE AFTER SUCH DISCOVERY WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- DESIGN LOADS:
  - FLOOR: 40 PSF. LIVE, 15 PSF. DEAD
  - ROOF: 30 PSF. LIVE, 10 PSF. DEAD
  - CEILING: 10 PSF. LIVE, 5 PSF. DEAD
  - SOIL BEARING CAPACITY - 1500 PSF.
- LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY SPECIALTY LOADING CONDITIONS WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND ADJUSTMENTS TO PLANS MADE ACCORDINGLY, SEE YOUR LOCAL BUILDING OFFICIALS FOR VERIFICATION OF YOUR SPECIFIC LOAD DATA, ZONING RESTRICTIONS AND SITE CONDITIONS, CONCRETE AND FOUNDATIONS: \* ALL FOUNDATION WALLS AND SLABS ON GRADE SHALL BE 3000 PSI (28-DAY COMPRESSIVE STRENGTH CONCRETE), UNLESS NOTED OTHERWISE,

#### CONCRETE AND FOUNDATIONS:

- ALL FOUNDATION WALLS AND SLABS ON GRADE SHALL BE 3000 PSI (28-DAY COMPRESSIVE STRENGTH CONCRETE), UNLESS NOTED OTHERWISE,
- ALL INTERIOR SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH.
- PROVIDE PROPER EXPANSION AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.
- ALL 36" X 36" X 18" CONCRETE PADS TO HAVE (3) #5 RODS EACH WAY.
- ALL 48" X 48" X 24" CONCRETE PADS TO HAVE (4) #5 RODS EACH WAY.
- FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL PROPERLY BRACED.
- VERIFY DEPTH OF FROST FOOTINGS WITH YOUR LOCAL CODES.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY HUD MINIMUM PROPERTY STANDARDS.
- FOUNDATION BOLTS MUST BE ANCHORED TO SILL PLATE WITH 5/8" BOLTS EMBEDDED 15" IN CONCRETE WALLS.

#### STEEL:

- ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH ASTM SPECIFICATION A-36.
- ALL STRUCTURAL STEEL FOR STEEL COLUMNS SHALL COMPLY WITH ASTM SPECIFICATION A-53 GRADE B OR A-501.
- ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH ASTM SPECIFICATION A-615 GRADE 60.
- # PROVIDE STEEL SHIMMS IN ALL BEAM POCKETS.
- STEEL COLUMNS ARE TO BE 3" I.D. (INSIDE DIAMETER) UNLESS NOTED OTHERWISE.

#### FRAMING MEMBERS:

- UNLESS NOTED OTHERWISE, ALL FRAMING LUMBER SHALL HAVE THE FOLLOWING CHARACTERISTICS:
- FB : 1,000 PSI FV = 75 PSI E = 1,400,000 PSI

- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND STRESS CHARACTERISTICS OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET YOUR LOCAL CODE REQUIREMENTS.
- HOLE SIZES AND LOCATIONS IN GLULAM OR LAMINATED VENEERED LUMBER (L.V.L.) MEMBERS ARE TO BE CONFIRMED BY A PROFESSIONAL ENGINEER.
- ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY CONTRACTOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITION WALLS, UNLESS NOTED OTHERWISE.
- ALL SUB FLOORING IS ASSUMED TO BE 3/4" THICK, GLUED & NAILED.
- ALL EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF 1/2" SHEATHING.
- CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL ANGLED WALLS ON FLOOR PLANS ARE AT 45 DEGREE ANGLE, UNLESS OTHERWISE NOTED.
- LATERALLY UNSUPPORTED WALLS 12'-0" HIGH OR HIGHER SHALL BE 2X6 AND BALLOON FRAMED UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE, ABOVE ALL OPENINGS THAT ARE:
  - LOAD BEARING AND LESS THAN OR EQUAL TO 3 FT.
    - USE 4X6,
  - LOAD BEARING AND MORE THAN 3 FT.
    - USE (2) 2X12 WITH 1/2" PLYWOOD BETWEEN.
  - NON-LOAD BEARING AND LESS THAN OR EQUAL TO 6 FT.
    - USE 4X6.
  - NON-LOAD BEARING AND MORE THAN 6 FT.
    - USE (2) 2X12 WITH 1/2" PLYWOOD BETWEEN
  - ALL EXTERIOR OPENINGS
    - USE (2) 2X12 WITH 1/2" PLYWOOD BETWEEN
  - ALL TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED ON THIS PLAN.
  - ALL EXTERIOR CORNERS SHALL BE BRACED IN EACH DIRECTION WITH LET-IN DIAGONAL BRACING OR PLYWOOD.
  - PLACE (1) ROW OF 1" X 3" CROSS-BRIDGING ON ALL SPANS OVER 8'-0" AND (2) ROWS OF 1" X 3" CROSS-BRIDGING ON ALL SPANS OVER 16'-0".
  - COLLAR TIES ARE TO BE SPACED 4'-0" O.C.

- ALL PURLINS AND KICKERS ARE TO BE 2X6'S, UNLESS NOTED OTHERWISE.
- ANY HIP OR VALLEY RAFTERS OVER A 28'-0" SPAN ARE TO BE LAMINATED VENEER LUMBER L.V.L.)

#### MISC. NOTES:

- PREFABRICATED FIREPLACES AND FLUES ARE TO BE UIL, APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODES AND REQUIREMENTS.
- PROVIDE PROPER INSULATION FOR ALL PLUMBING.
- 1/2" WATER-RESISTANT DRYWALL AROUND SHOWERS, TUBS AND WHIRLPOOLS.
- 1/2" DRYWALL ON INTERIOR WALLS AND CEILINGS.
- 5/8" TUPE "X" FIRE CODE DRYWALL ON GARAGE WALLS AND CEILINGS.
- WHEN NO BRAND IS SPECIFIED WINDOWS ARE CALLED OUT BY GLASS SIZE ONLY.
- WINDOWS, IF NOT NOTED, ARE ASSUMED TO BE CASEMENTS.
- HEADER HEIGHTS ARE LABELED TO BOTTOM OF ARCHED TRANSOMS, CONFIRM WINDOW OPENINGS FOR YOUR LOCAL EGRESS REQUIREMENTS AND MINIMUM LIGHT AND VENTILATION REQUIREMENTS.
- HEADROOM AT STAIRS SHALL HAVE A MINIMUM CLEARANCE OF 6'-8" HIGH.
- PROVIDE PROPER HANDRAILS AT STAIRS PER LOCAL CODES.
- THE MECHANICAL AND ELECTRICAL LAYOUTS ARE SUGGESTED ONLY. CONSULT YOUR MECHANICAL AND ELECTRICAL CONTRACTORS FOR EXACT SPECIFICATIONS, LOCATIONS AND SIZES. JOG FLUE TO REAR OF RIDGE AS NECESSARY.
- PROVIDE PROPER WIRING FOR ALL ELECTRICAL APPLIANCES, MECHANICAL EQUIPMENT AND WHIRLPOOLS PER MANUFACTURER'S SPECIFICATIONS.
- AIR CONDITIONER LOCATIONS MAY VARY DEPENDING ON RESTRICTIVE COVENANTS AND CODES.

### AREA CALCULATION

LIVING AREA: 2836 SF  
GARAGE: 936 SF  
FRONT PORCH: 78 SF  
REAR PORCH: 384 SF  
PATIO: 192 SF

TOTAL FLOOR AREA: 4426 SF



### THIS PLAN IS APPROVED FOR CONSTRUCTION

The approval of plans shall not prevent the Building Official from thereafter requiring the correction of errors in the plans and specifications, or from preventing building operations being carried on thereunder when in violation of the building code, zoning ordinance, or any other ordinance in the City of Atlanta.

(470)716-3479

12-24-24

ANTWAN HODGES

DATE

BB-202409525 / 2594 CASCADE RD SW

REVIEWER

NEW SFR

APPLICATION NUMBER

KEEP THIS APPROVED PLAN ON JOB SITE DURING CONSTRUCTION

RELEASED FOR CONSTRUCTION

SHEET NO.

C1

DWG NO.:  
SAN1691

REVISION:

SCALE:  
N.T.S.  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
COVER PAGE

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME, THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES.

STAMP

DRAWINGS PROVIDED BY:





1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
3. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
4. CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, AND TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION.
5. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED IN THE DRAWINGS PRIOR TO THE CONSTRUCTION.
6. EXTERIOR WALL AND ROOF FINISHES AS PER CUSTOMER'S CHOICE.
7. REFER TO MANUFACTURER'S SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOOR AND WINDOWS.
8. ALL BEAMS SIZES TO BE VERIFIED BY THE STRUCTURAL ENGINEER.

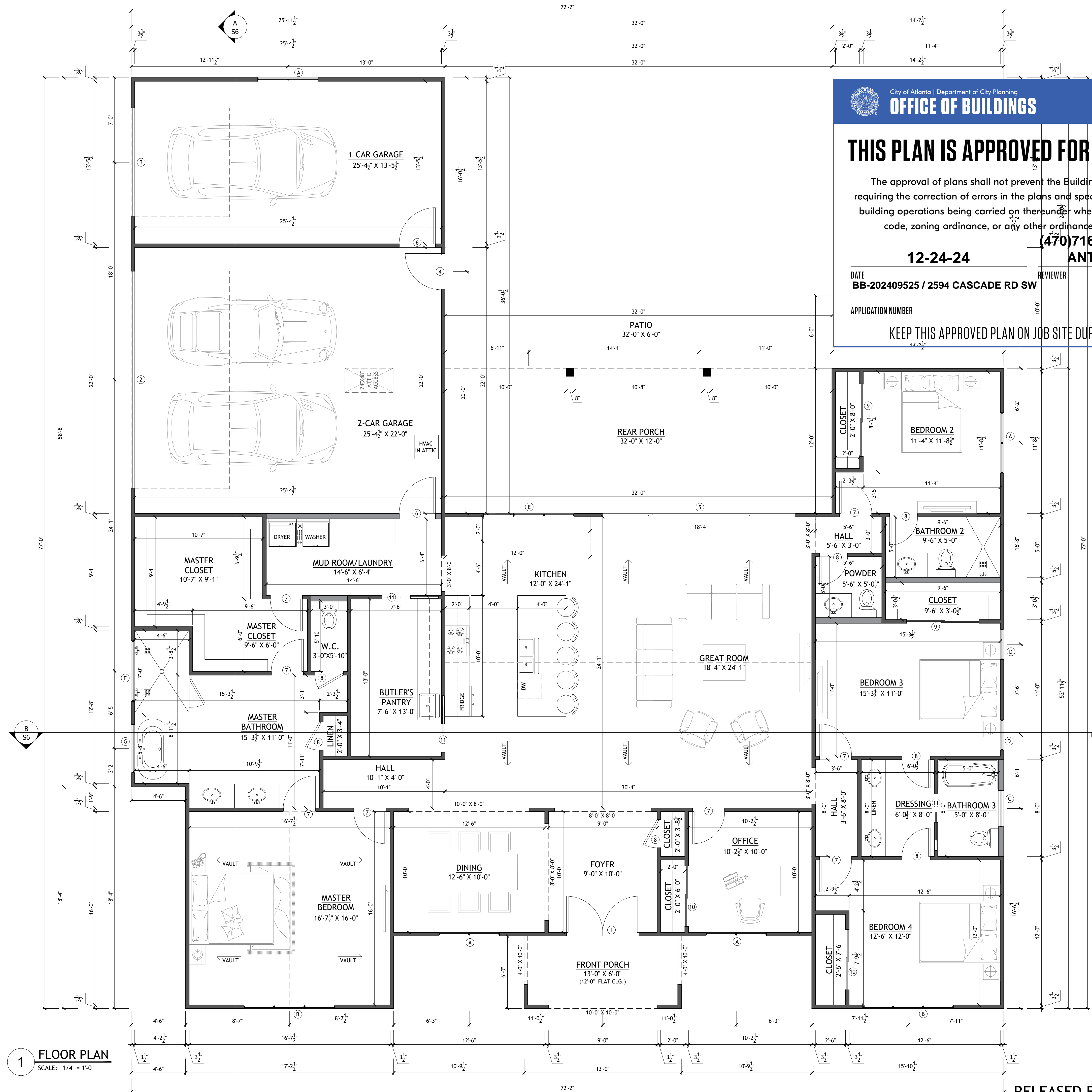
DOOR SCHEDULE				
	WIDTH	HEIGHT	QTY.	DESCRIPTION
①	6'-0"	8'-0"	1	FRONT DOOR
②	18'-0"	8'-0"	1	DOUBLE GARAGE DOOR
③	9'-0"	8'-0"	1	SINGLE GARAGE DOOR
④	3'-0"	8'-0"	1	SOLID DOOR
⑤	16'-0"	8'-0"	1	4 PANEL SLIDING GLASS DOOR
⑥	3'-0"	6'-8"	2	FIRE RATED DOOR
⑦	2'-8"	6'-8"	8	HOLLOW CORE
⑧	2'-4"	6'-8"	7	HOLLOW CORE
⑨	6'-0"	6'-8"	2	SLIDING CLOSET DOOR
⑩	5'-0"	6'-8"	2	SLIDING CLOSET DOOR
⑪	2'-4"	6'-8"	3	POCKET DOOR

WINDOW SCHEDULE				
	WIDTH	HEIGHT	QTY.	DESCRIPTION
(A)	5'-0"	6'-0"	4	CASEMENT (DOUBLE) (EGRESS)
(B)	7'-6"	6'-0"	2	CASEMENT (TRIPLE) (EGRESS)
(C)	3'-0"	1'-6"	1	FIXED (TEMPERED GLASS)
(D)	2'-6"	6'-0"	2	CASEMENT (EGRESS)
(E)	7'-6"	4'-0"	1	CASEMENT (TRIPLE) (EGRESS)
(F)	5'-0"	1'-6"	1	TRANSOM (TEMPERED GLASS)
(G)	4'-0"	4'-0"	1	FIXED (TEMPERED GLASS)

LIVING AREA:	2836 SF
GARAGE:	936 SF
FRONT PORCH:	78 SF
REAR PORCH:	384 SF
PATIO:	192 SF
<b>TOTAL FLOOR AREA:</b>	<b>4426 SF</b>

NOTE: BUILDING HEIGHT: 21' 11 <sup>5</sup>/<sub>8</sub>"

1. ALL BATHROOM WINDOWS ARE TEMPERED GLASS TO COMPLY WITH SECTION R308.4.
2. ALL BEDROOM WINDOWS ARE EGRESS WINDOWS TO COMPLY WITH SECTION R310.2



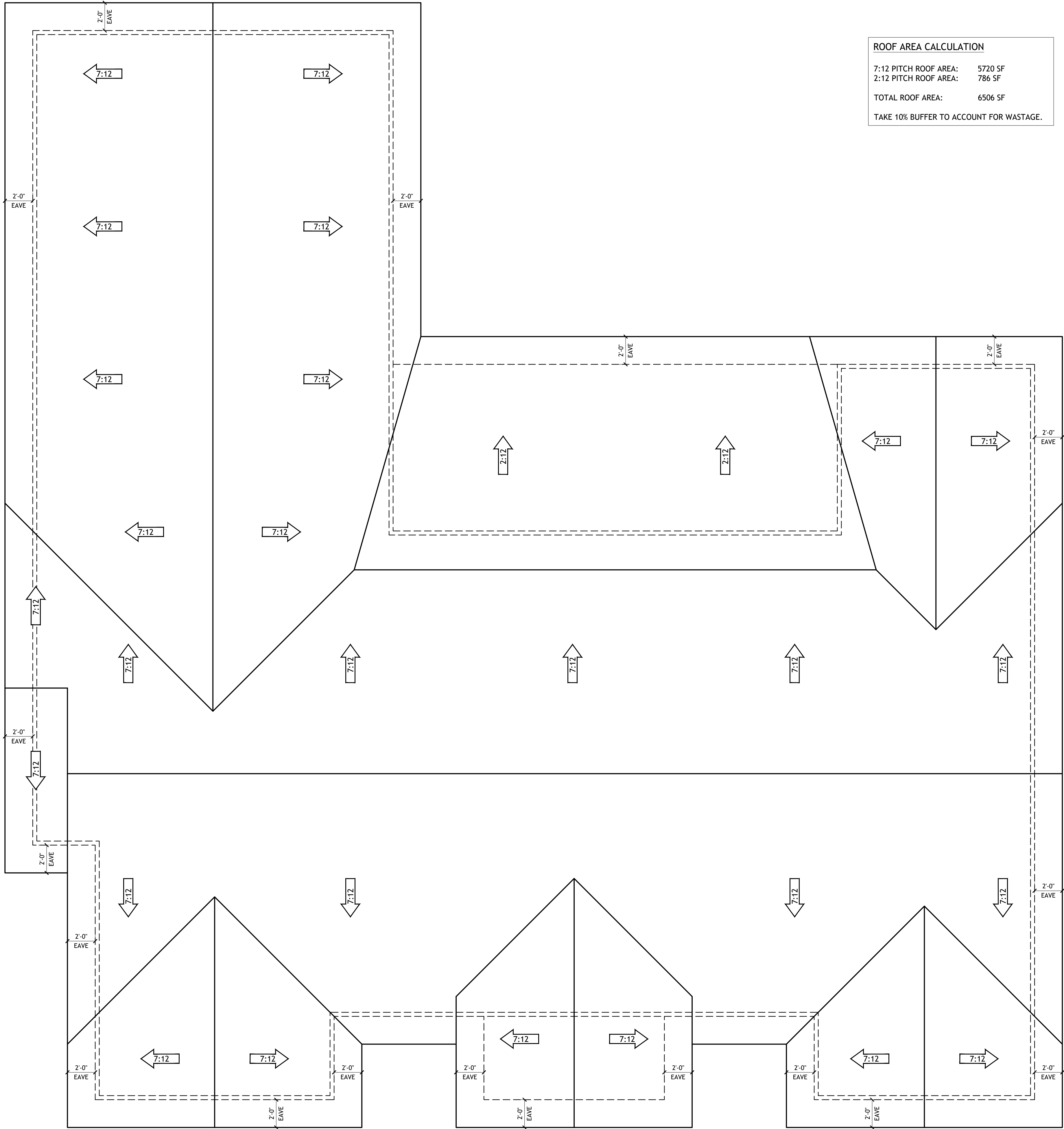
RELEASED FOR CONSTRUCTION

**DRAWINGS PROVIDED BY:**

**SANVERM**  
ARCHITECTURE | D

- ROOF NOTES:
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES.
  - ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", NO.2 S.Y.P. UNLESS MENTIONED OTHERWISE OR AS REQ'D BY ENGINEER.
  - CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
  - CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.

ROOF AREA CALCULATION			
7:12 PITCH ROOF AREA:	5720 SF		
2:12 PITCH ROOF AREA:	786 SF		
TOTAL ROOF AREA:	6506 SF		
TAKE 10% BUFFER TO ACCOUNT FOR WASTAGE.			



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



SHEET NO.

A2

DWG NO.:  
SAN1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
ROOF PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME  
DESIGN, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS  
THAT MAY BE FOUND IN THE DESIGN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED  
TO THE DESIGN AND CONSTRUCTION OF THE ROOF SYSTEM. THE ARCHITECT  
DOES NOT GUARANTEE THE ACCURACY OF THE DESIGN OR THE RESULTS OF THE  
CONSTRUCTION. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION  
PROVIDED BY THE OWNER AND THE ARCHITECT HAS NO LIABILITY FOR ANY  
CONSTRUCTION DEFECTS OR OTHER ISSUES THAT MAY ARISE DURING THE  
CONSTRUCTION OF THE ROOF SYSTEM. THE ARCHITECT'S DESIGN IS NOT  
INTENDED TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECT'S  
WRITTEN CONSENT. THE ARCHITECT'S DESIGN IS NOT A SUBSTITUTE FOR  
LOCAL BUILDING OFFICIALS BEFORE THE START OF CONSTRUCTION. ADDITIONAL  
ENGINEERING AND DESIGN MAY BE REQUIRED TO COMPLY WITH LOCAL BUILDING CODES.

STAMP

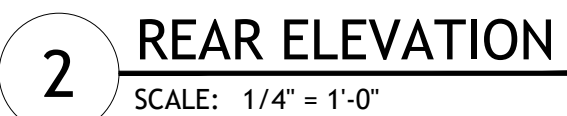
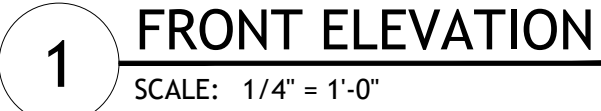
DRAWINGS PROVIDED BY:



RELEASED FOR CONSTRUCTION



1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



# A3

**REVISION:**

DATE: 24" X 36"

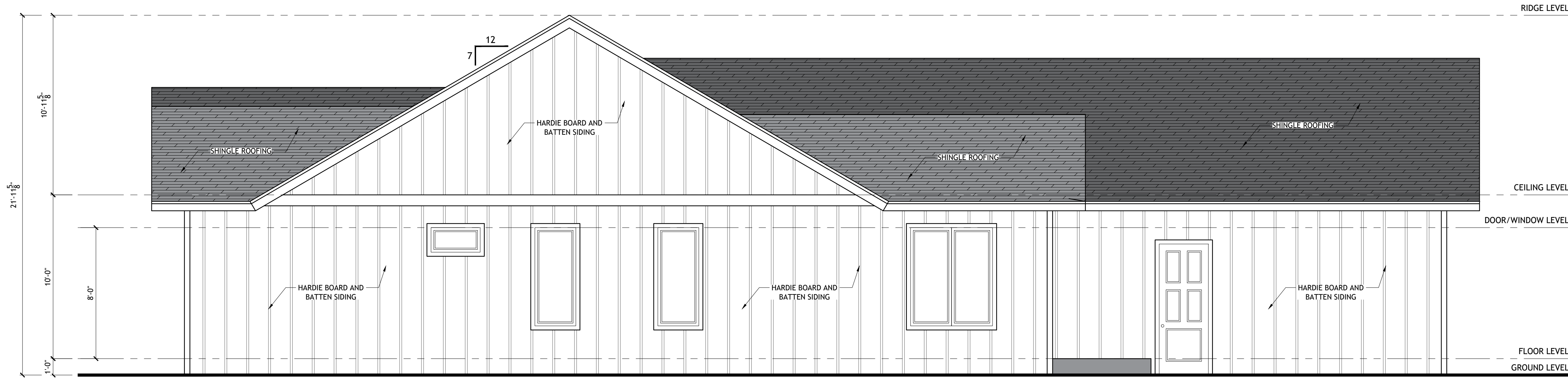
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FRONT AND REAR ELEVATION

STAMP

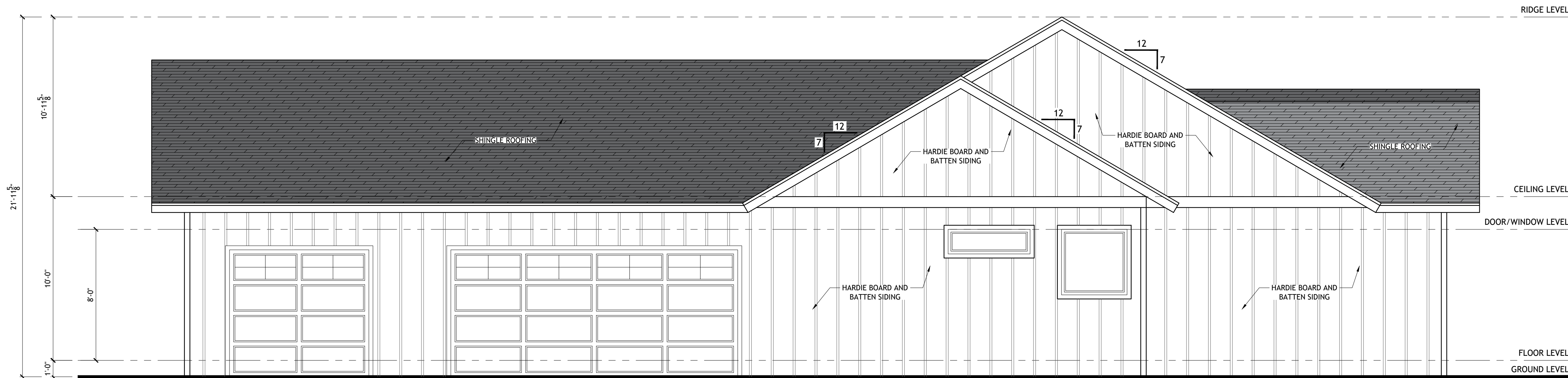
**SANVERMA DESIGN**  
ARCHITECTURE | DESIGN | RENDERING

RELEASED FOR CONSTRUCTION

- GENERAL NOTES:
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
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  6. EXTERIOR WALL AND ROOF FINISHES AS PER CUSTOMER'S CHOICE.
  7. REFER TO MANUFACTURER'S SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOOR AND WINDOWS.
  8. ALL BEAMS SIZES TO BE VERIFIED BY THE STRUCTURAL ENGINEER.



1 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



SHEET NO.  
**A4**

DWG NO.:  
SAN1691  
REVISION:  
SCALE:  
1/4" = 1'-0"  
@ 24" X 36"  
DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES  
PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

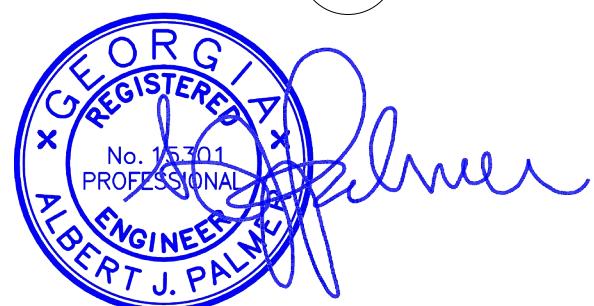
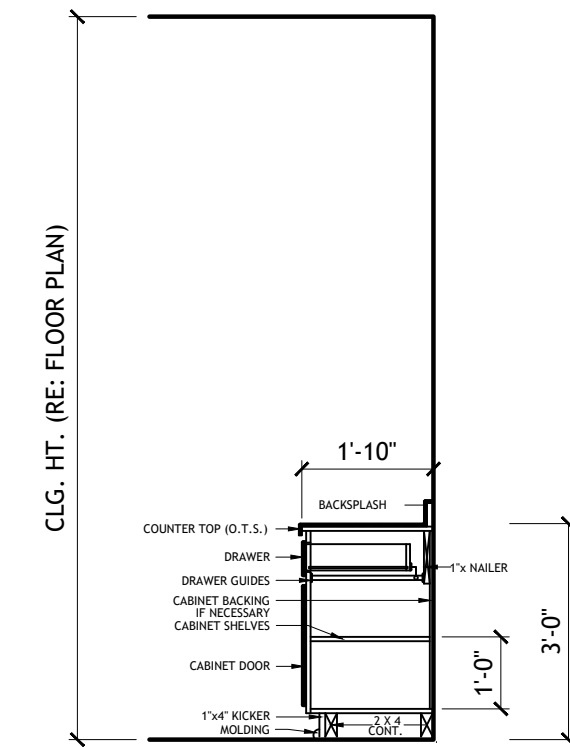
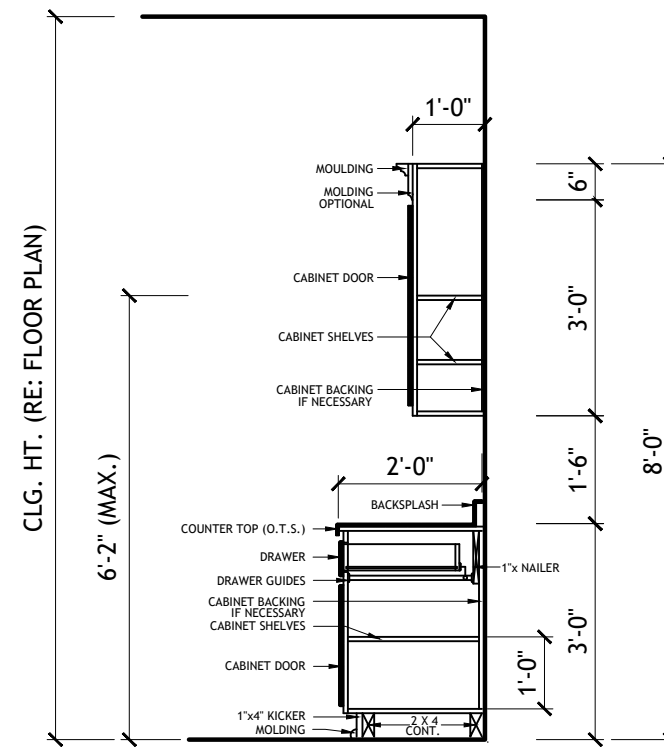
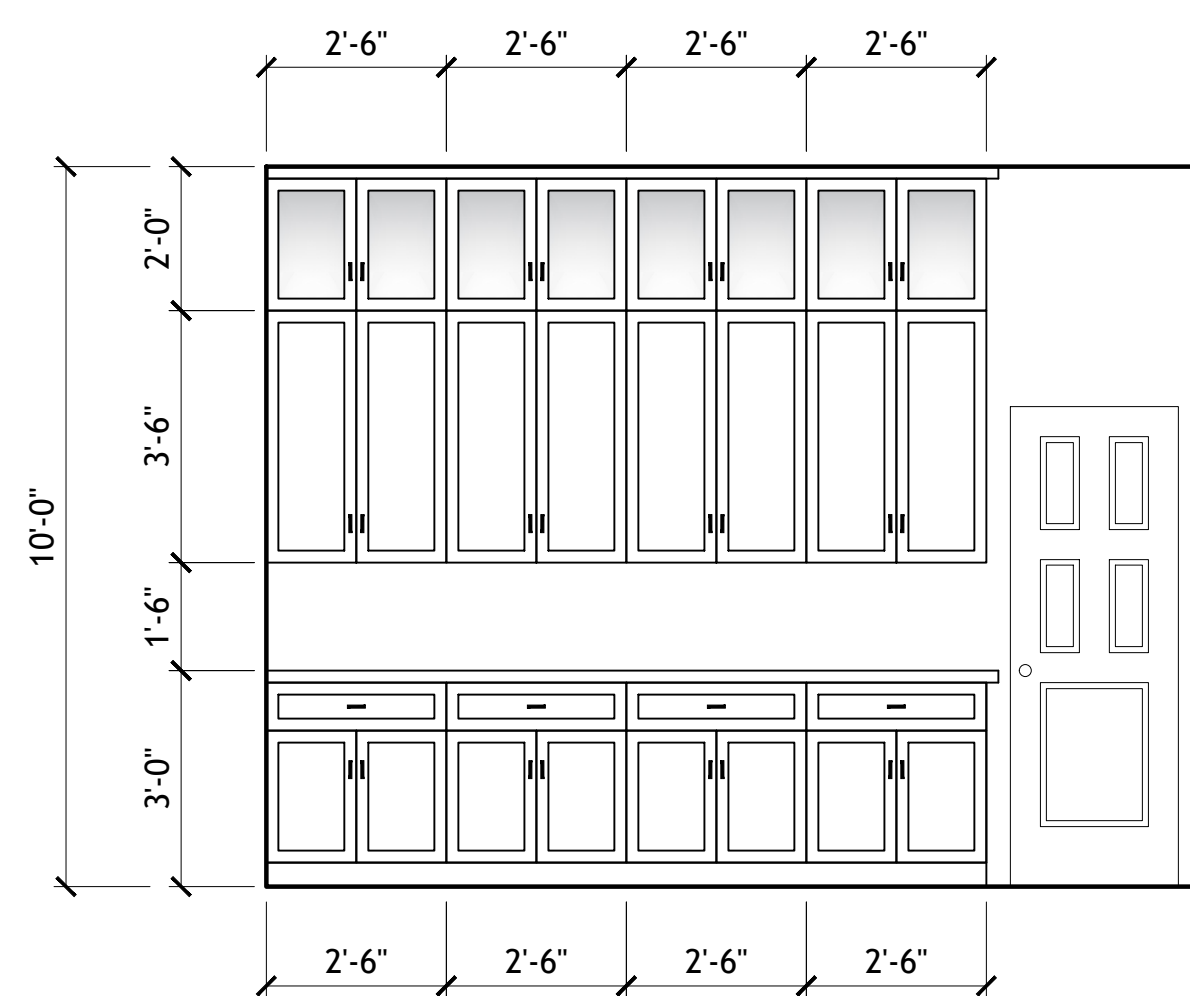
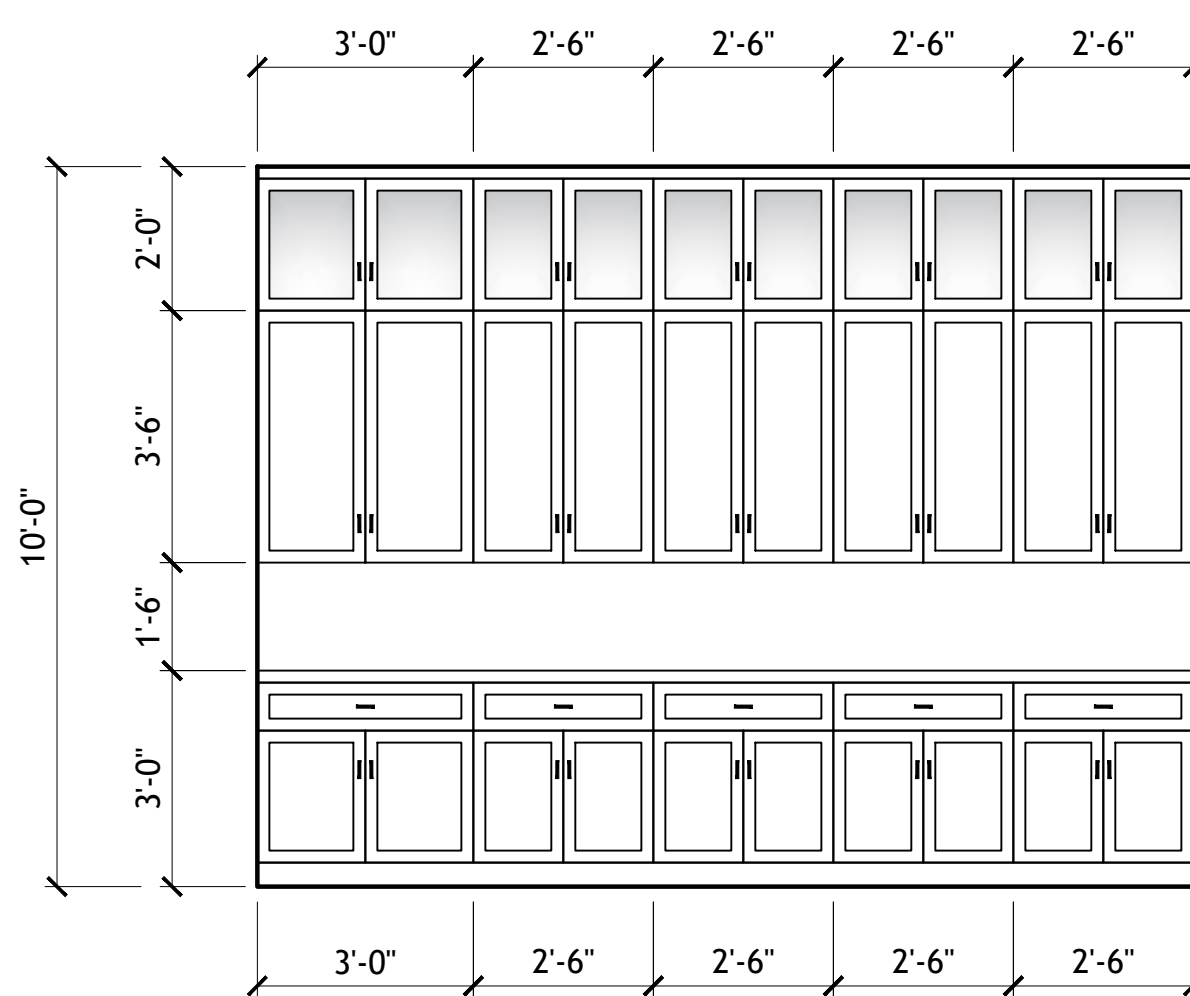
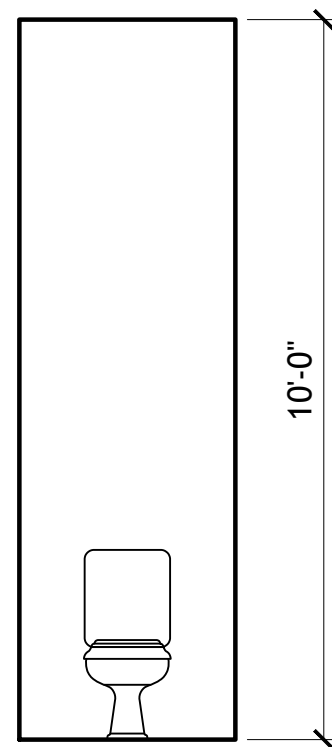
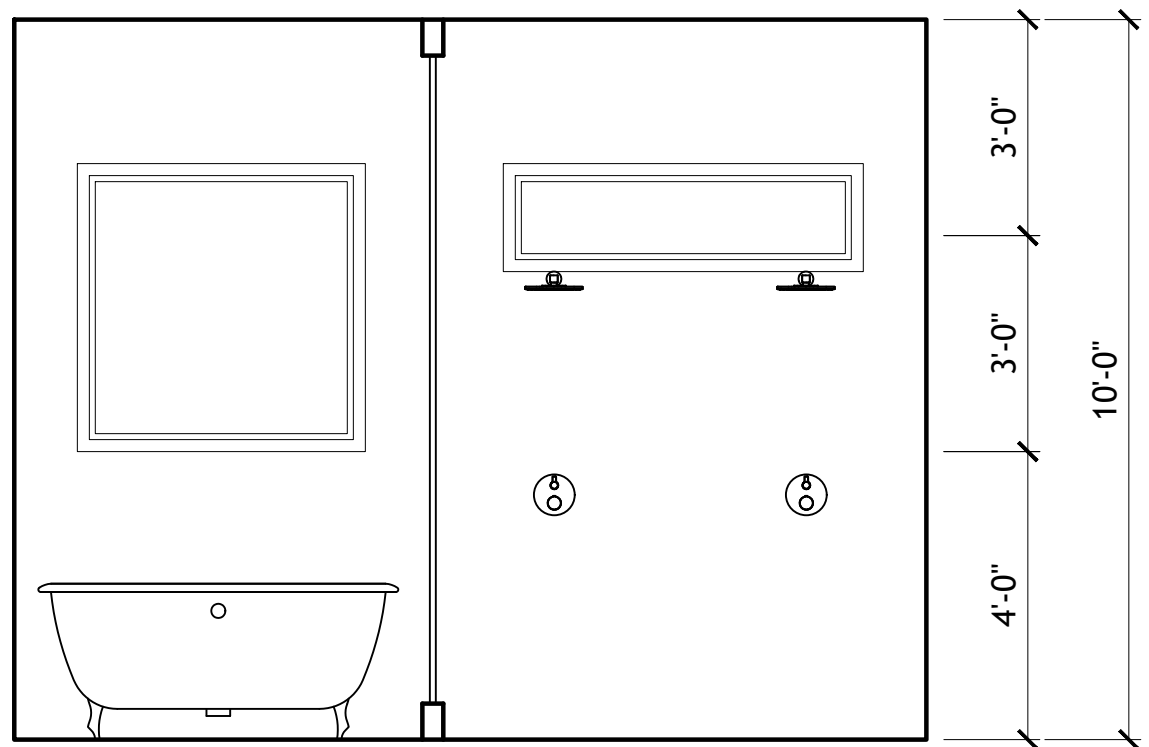
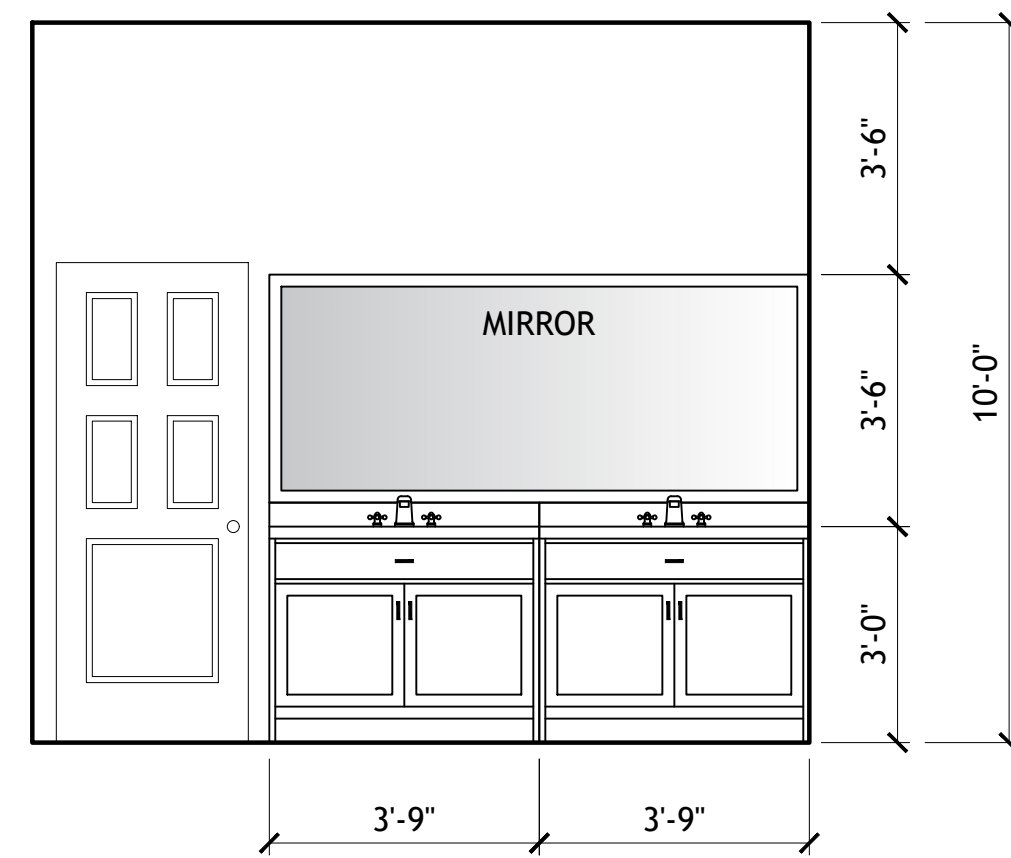
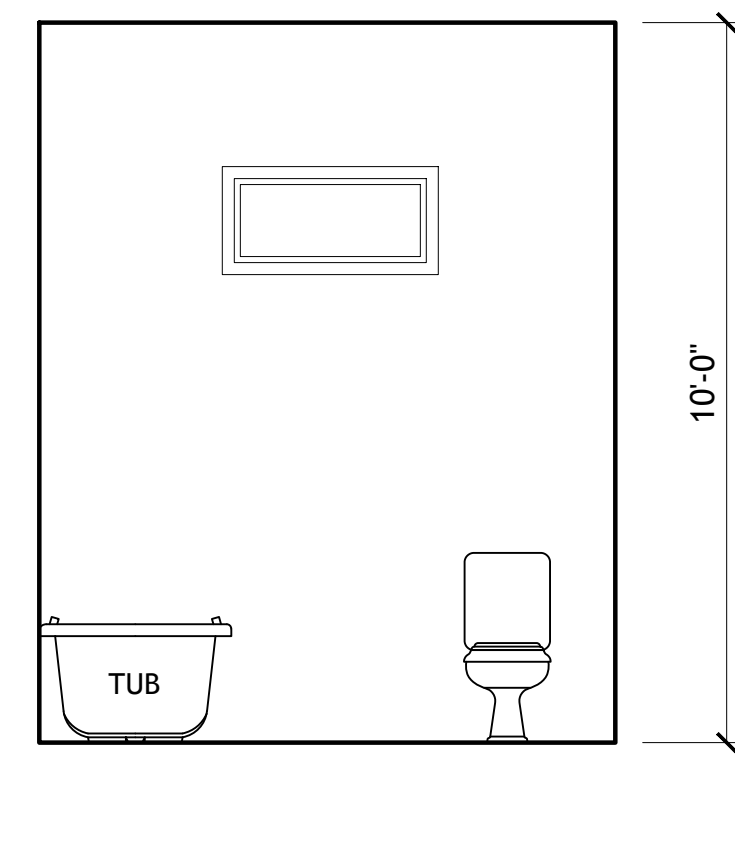
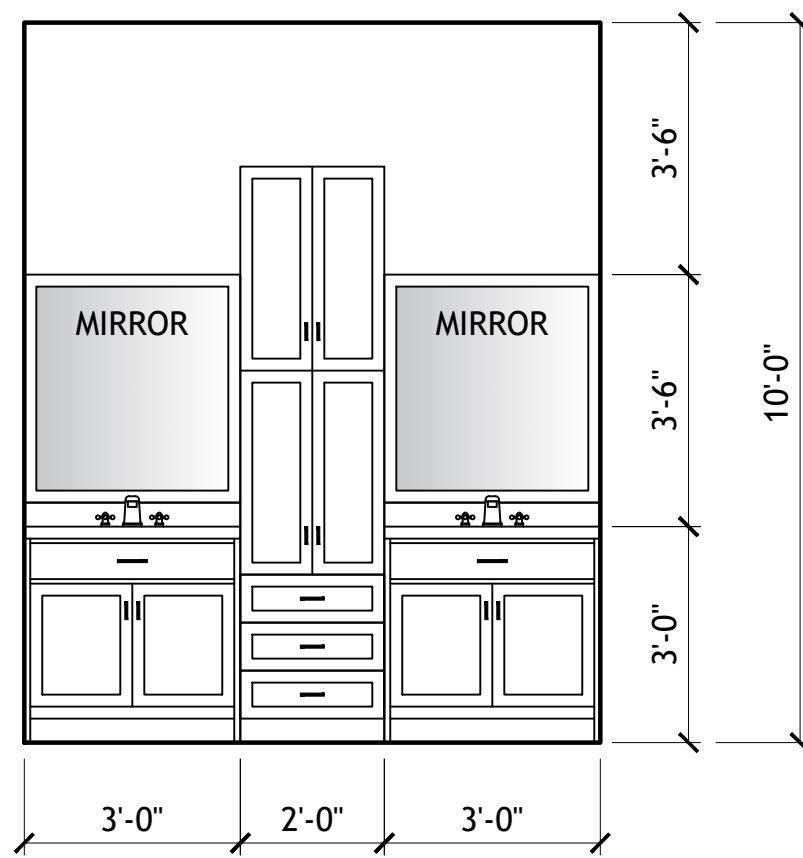
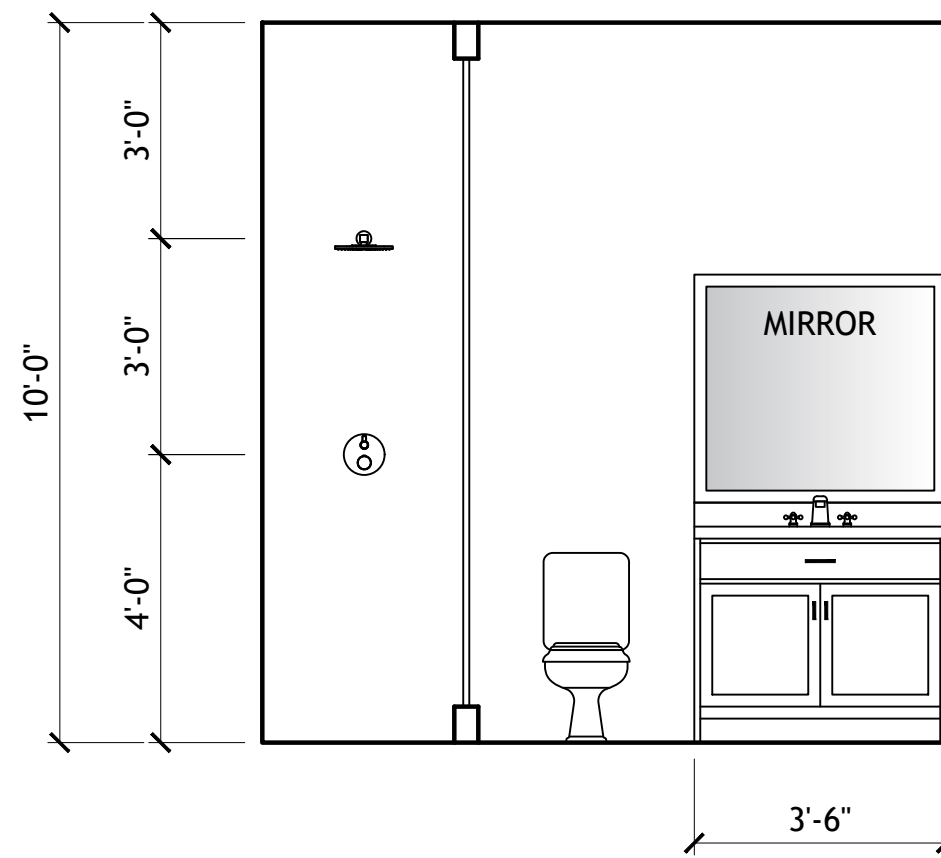
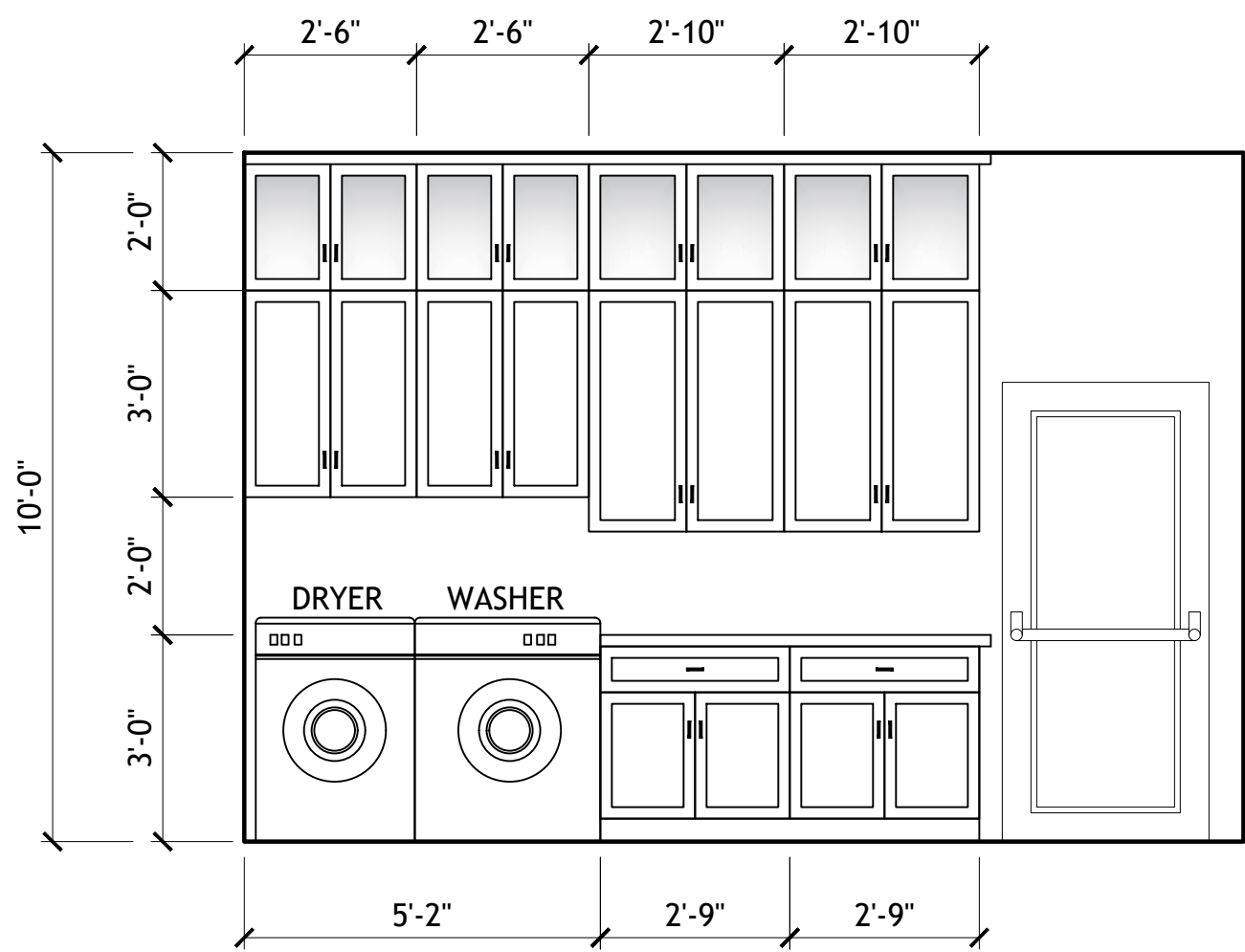
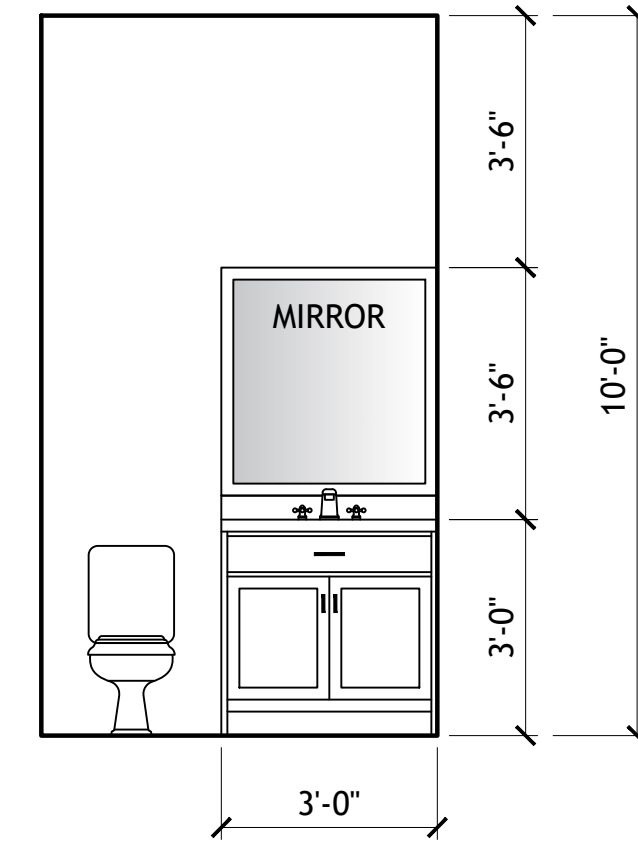
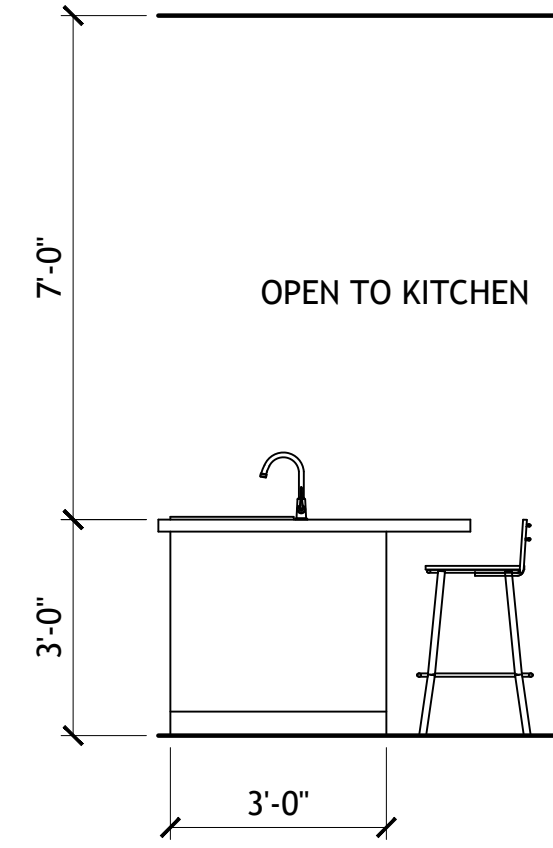
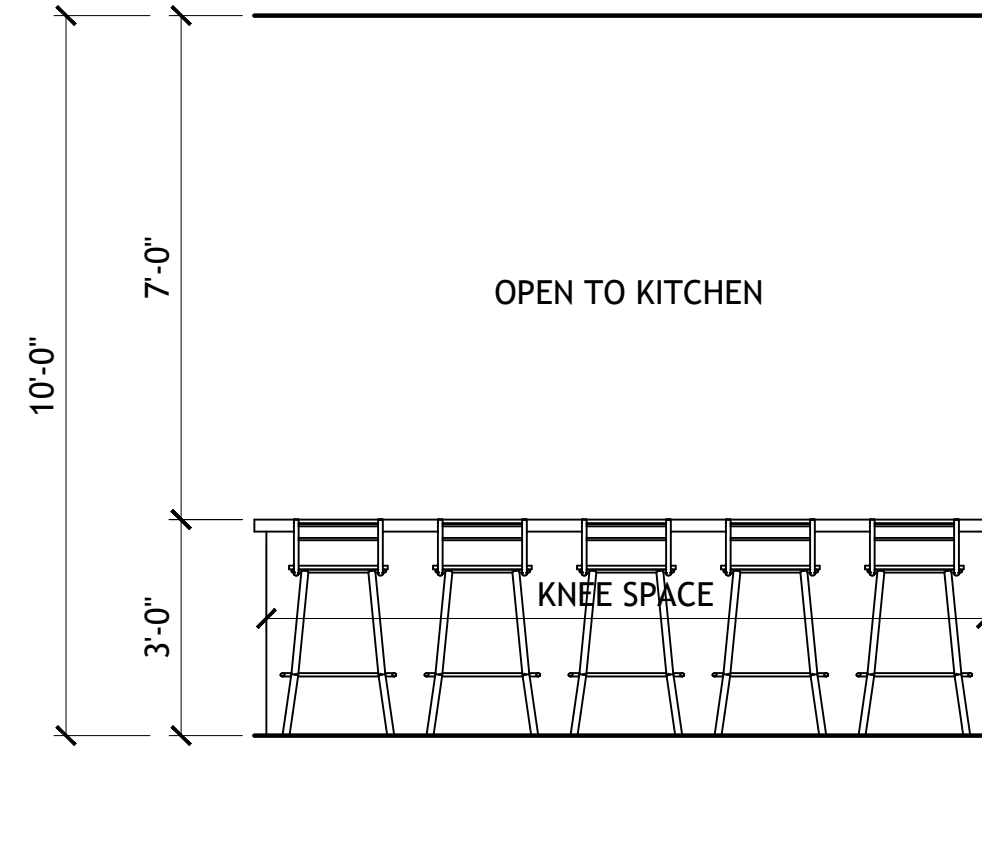
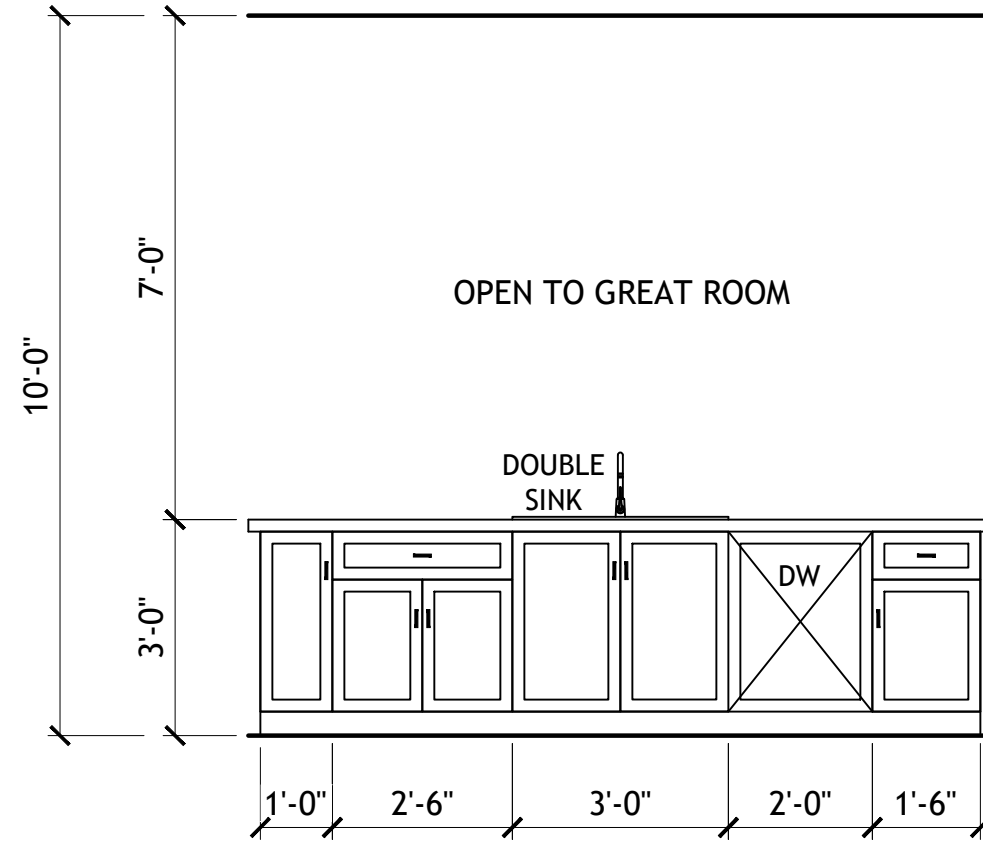
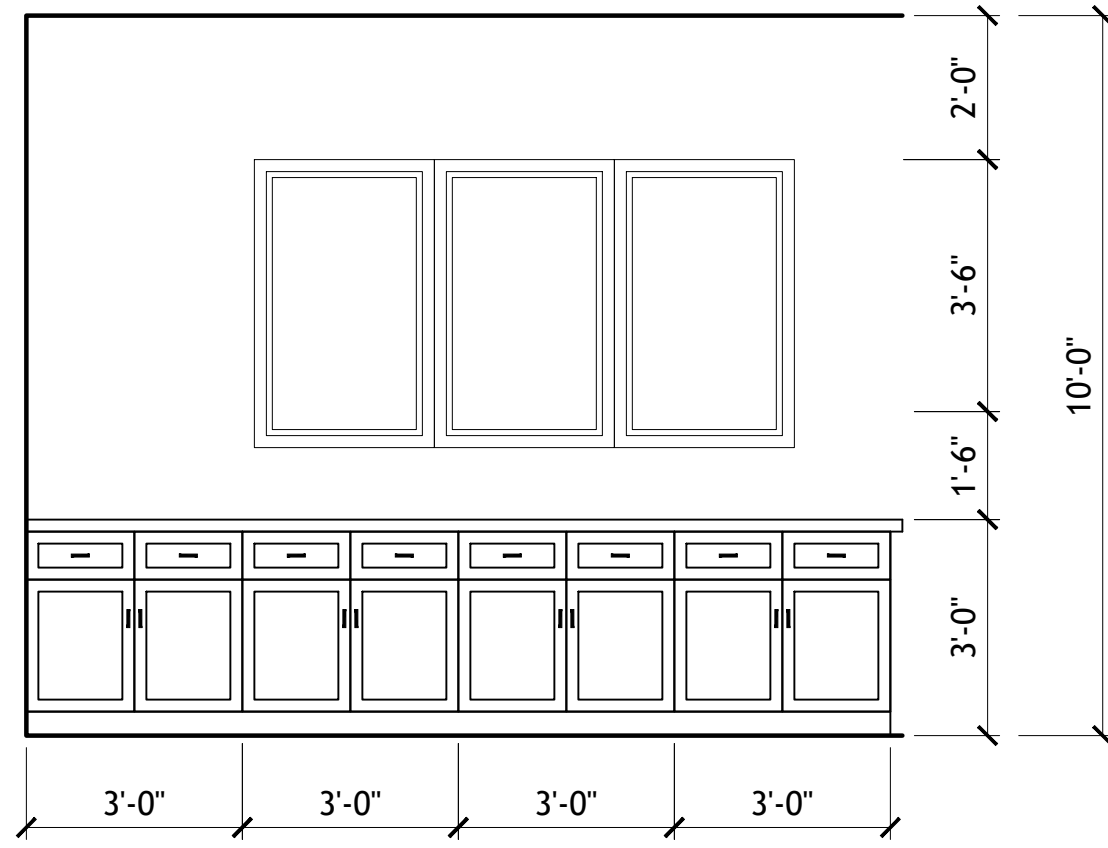
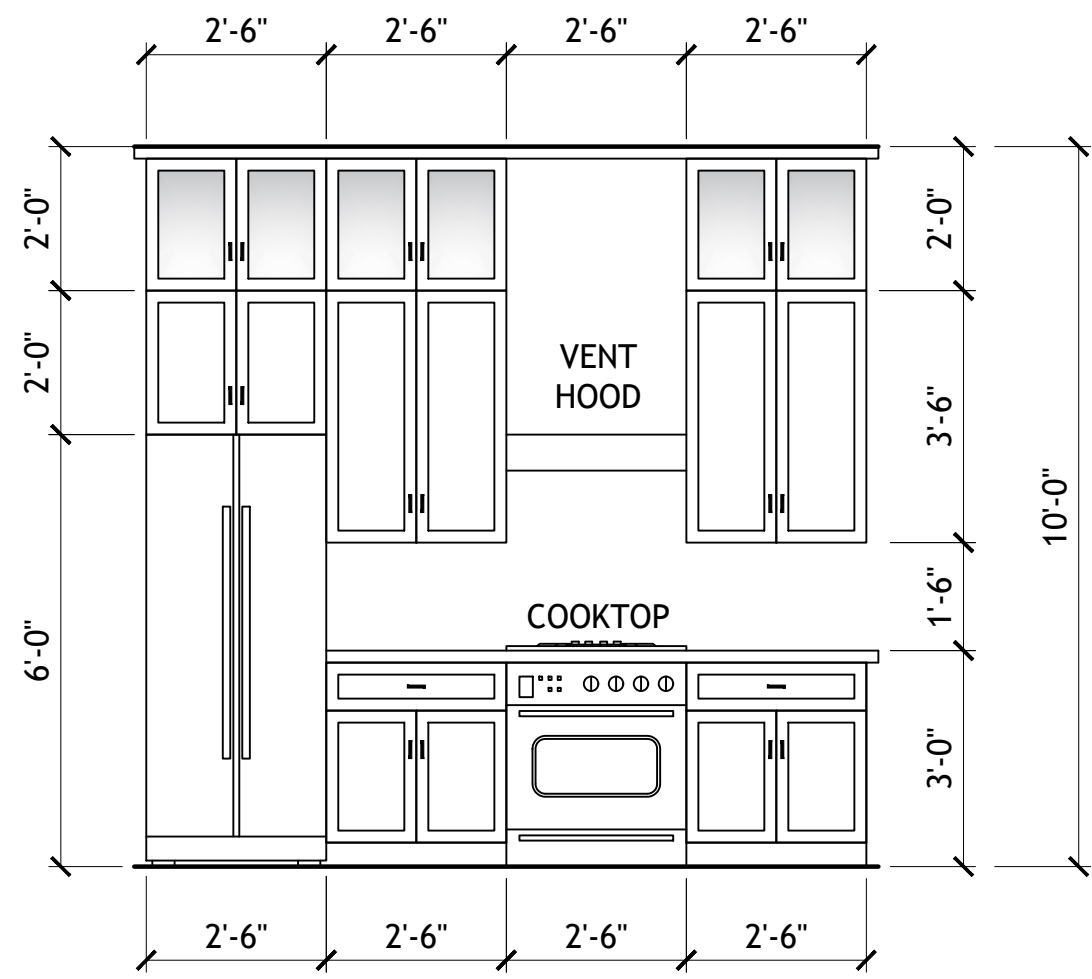
DRAWING TITLE:  
RIGHT AND LEFT ELEVATION

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME DESIGN, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY STRUCTURAL FAILURES OR OTHER CONSTRUCTION DEFECTS THAT MAY OCCUR DURING THE CONSTRUCTION OF THE HOME. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DESIGN OR FOR ANY DELAYS TO THE CONSTRUCTION SCHEDULE. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY COST OVER RUNS OR FOR ANY OTHER FINANCIAL ISSUES THAT MAY ARISE DURING THE CONSTRUCTION OF THE HOME. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER MATTERS THAT MAY BE RELATED TO THE CONSTRUCTION OF THE HOME.

STAMP

DRAWINGS PROVIDED BY:  
**SANVERMA DESIGN**  
ARCHITECTURE | DESIGN | RENDERING





SHEET NO.

A5

DWG NO.:

SAN1691

REVISION:

SCALE:

3/8" = 1'-0"

DATE:

NOV 9, 24

CLIENT NAME:

DANIEL HUMPHRIES

PROJECT ADDRESS:

2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:

INTERIOR ELEVATIONS

DRAWINGS PROVIDED BY:

SANVERMA DESIGN  
ARCHITECTURE | DESIGN | RENDERING

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME  
DRAWING, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS  
THAT MAY BE FOUND IN THE DRAWING. THE ARCHITECT DOES NOT WARRANT THE  
CORRECTNESS OF THE INFORMATION PROVIDED IN THE DRAWING. THE ARCHITECT  
TAKES NO RESPONSIBILITY FOR ANY CONSTRUCTION DEFECTS OR OTHER  
DEFICIENCIES THAT MAY BE FOUND IN THE CONSTRUCTION OF THE PROJECT.  
THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT  
AND TO THE PREPARATION OF THE DRAWING. THE ARCHITECT DOES NOT  
WARRANT THE CORRECTNESS OF THE INFORMATION PROVIDED IN THE  
DRAWING. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ANY  
CONSTRUCTION DEFECTS OR OTHER DEFICIENCIES THAT MAY BE  
FOUND IN THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S  
RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND  
TO THE PREPARATION OF THE DRAWING.

STAMP

RELEASED FOR CONSTRUCTION



ELECTRICAL NOTES:

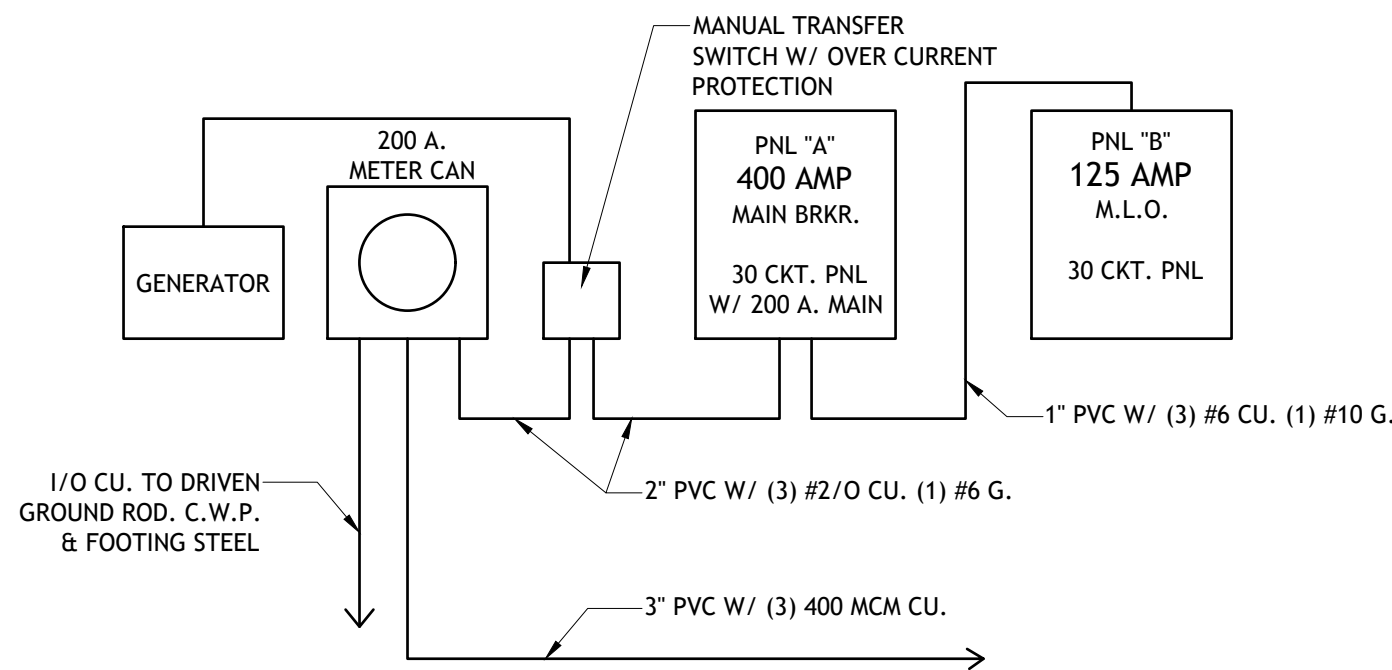
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO ENSURE INSTALLATION IS MADE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL LIGHTING FIXTURES, WALL OUTLETS, ETC., SHALL BE IN ACCORDANCE WITH THE LOCAL CODE AND THE CONTRACTOR ON SITE SHALL MAKE MODIFICATIONS AS NEEDED.
- ALL LIGHTING CHOICES TO BE OWNER'S CHOICE, BUT TO NOT SURPASS DESIGN STANDARDS.
- ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
- A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT, THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.

ELECTRICAL LEGEND

120 VOLT RECEPTACLE	
120 VOLT W/ GROUND FAULT INTERRUPTOR	
240 VOLT RECEPTACLE	
WATERPROOF RECEPTACLE	
PHONE/CABLE (CAT5)	
TELEVISION ANTENNA	
SINGLE POLE SWITCH	
2 WAY SWITCH	
CEILING MOUNTED HANGING LIGHT	
RECESSED CAN LIGHT	
FLUSH MOUNTED LIGHT	
WALL MOUNTED LIGHT	
EXHAUST FAN	
EXHAUST FAN/ RECESS CAN COMBO	
SMOKE DETECTOR	
CARBON MONOXIDE DETECTOR	
STAIRCASE LIGHT	
GARAGE LIGHT	
UNDER CABINET LIGHT	
CCTV CAMERA	
CEILING FAN WITH LIGHT	

NOTE:

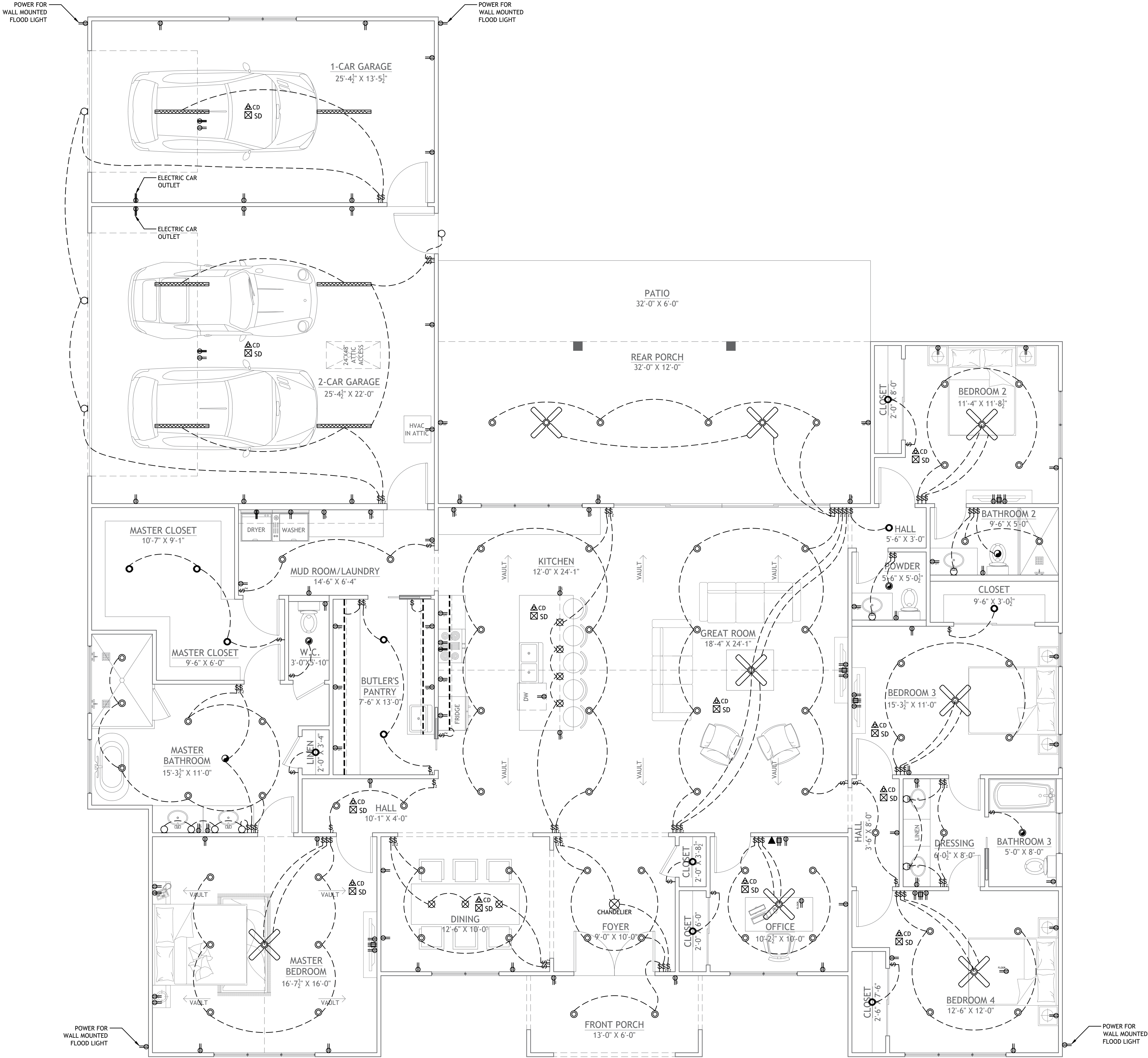
NOT ALL SYMBOLS ARE USED.



A

ELECTRICAL RISER

SCALE: N.T.S.



1

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

SHEET NO.

E1

DWG NO.:  
SANT1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
ELECTRICAL PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME PLANS, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY STRUCTURAL FAILURES, INCLUDING BUT NOT LIMITED TO, FOUNDATIONS, ROOFING, OR OTHER STRUCTURAL ELEMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ELECTRICAL, MECHANICAL, OR PLUMBING SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER SYSTEMS.

STAMP

DRAWINGS PROVIDED BY:

SANVERMA DESIGN  
ARCHITECTURE | DESIGN | RENDERING

RELEASED FOR CONSTRUCTION



PLUMBING NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
- SUGGESTED SLOPE FOR EXTERIOR WASTE LINE @ 1/8"=1'-0".
- ALL YARD CLEANOUTS TO BE CONTRACTOR CHOICE. ALL FIXTURES WILL BE OWNER CHOICE. CALCULATIONS AND CHOICES BASED ON INDUSTRY STANDARDS.
- WASHING MACHINE AND DISHWASHER TO BE CUSTOMER'S CHOICE.
- WATER HEATER TO BE CUSTOMER'S CHOICE.

PLUMBING LEGEND

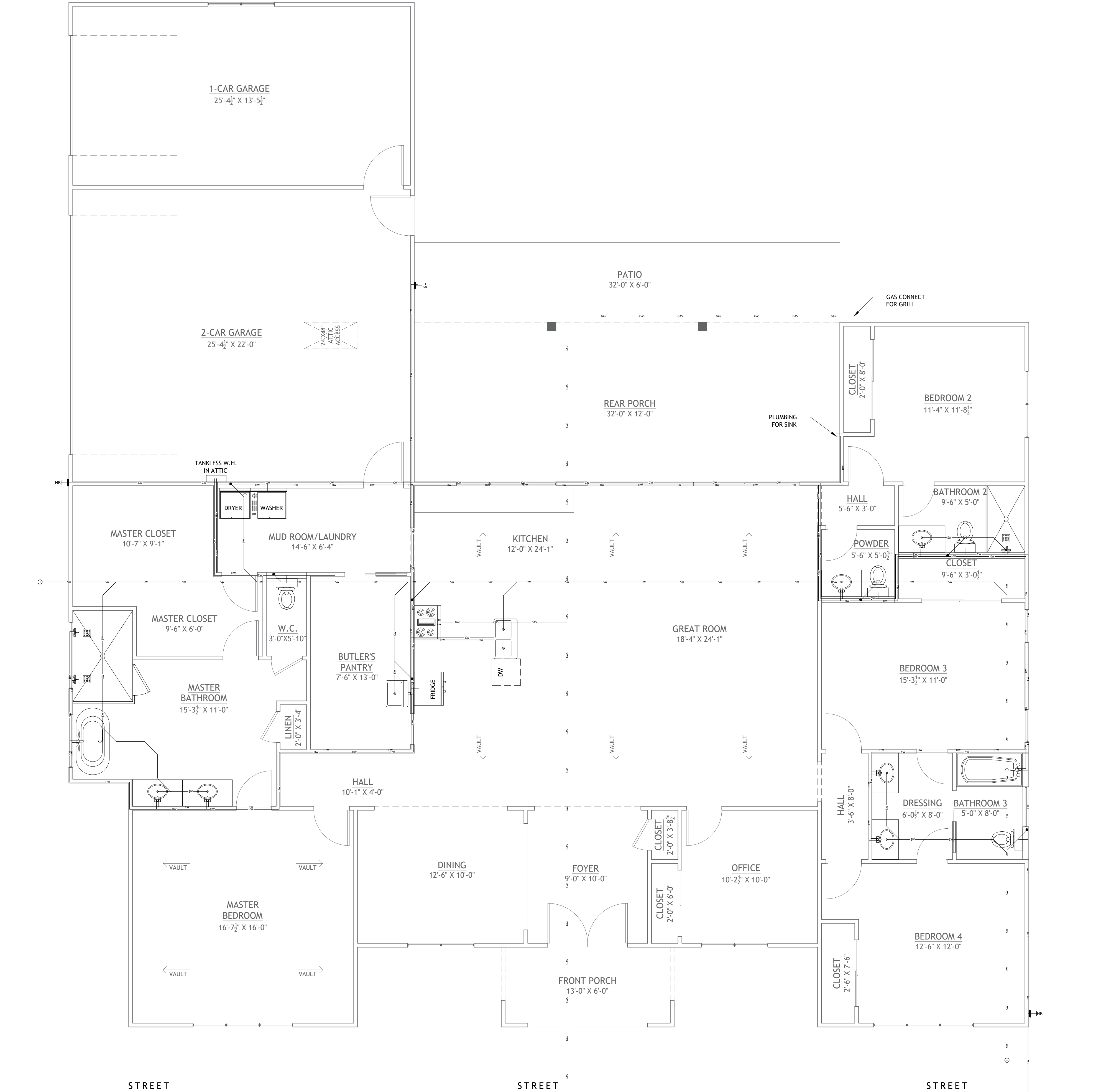
COLD WATER	CW
HOT WATER	HW
SEWER LINE	SW
GAS LINE	GAS
VENT PIPE	•
HOSE BIBB	HB
CLEAN OUT	⊙

FIXTURE CONNECTIONS

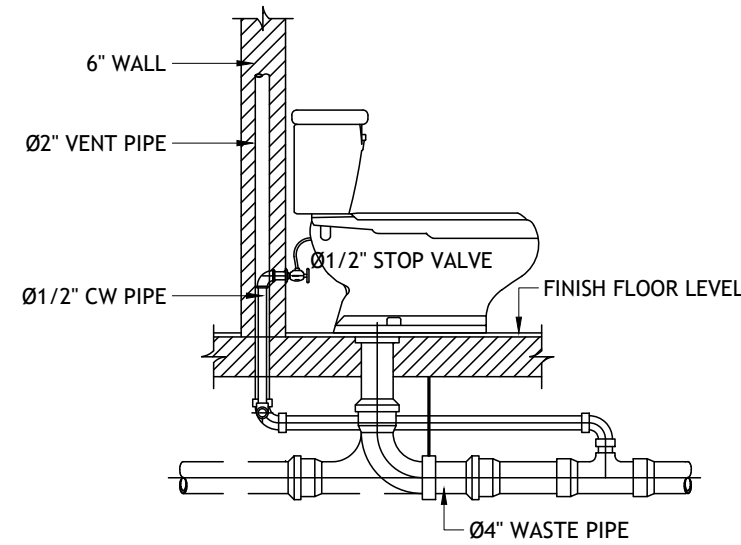
FIXTURE	PIPE DIAMETER			
	SEWER	VENT	COLD WATER	HOT WATER
HAND SINK	2"	2"	1/2"	1/2"
WATER CLOSET	4"	2"	3/4"	N/A
FLOOR DRAIN	3"	2"	N/A	N/A
WATER HEATER	N/A	N/A	3/4"	3/4"
WASHER/DRYER	2"	N/A	3/4"	3/4"
HOSE	N/A	N/A	1/2"	1/2"
SINK	2"	2"	1/2"	1/2"

NOTE:

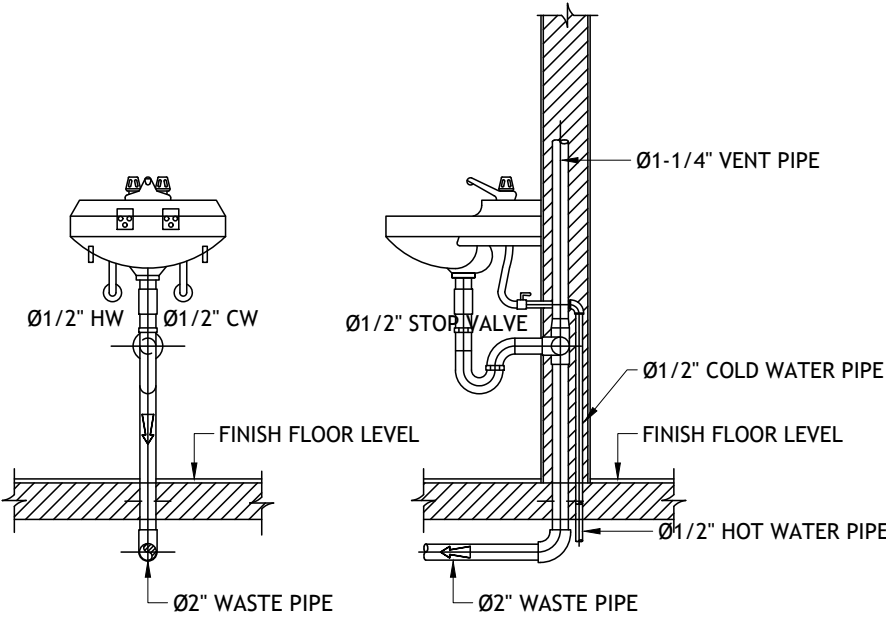
- SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM & ROUGH-IN CONNECTION.
- IF CAST IRON NO-HUB PIPE IS USED, WASTE AND VENT PIPE SHALL BE 2" MINIMUM.
- ALL FIXTURES TO HAVE VENTILATION PIPE TO CEILING EVEN IF NOT SHOWN ON PLANS.



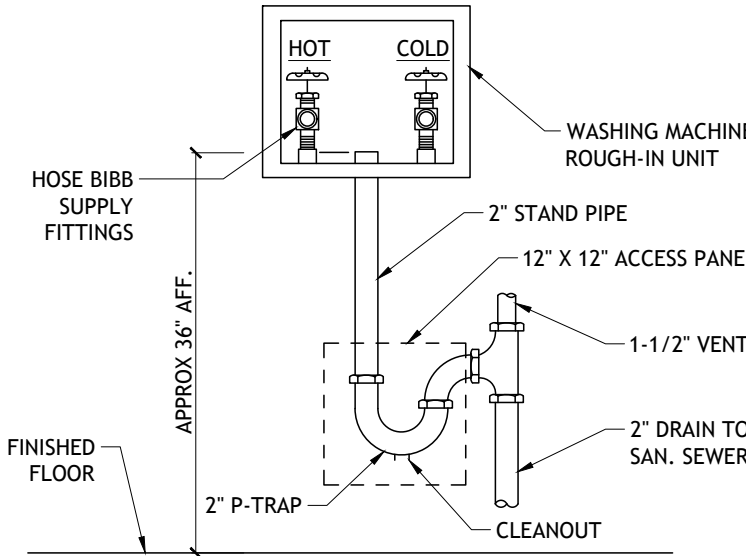
1 PLUMBING PLAN  
SCALE: 1/4" = 1'-0"



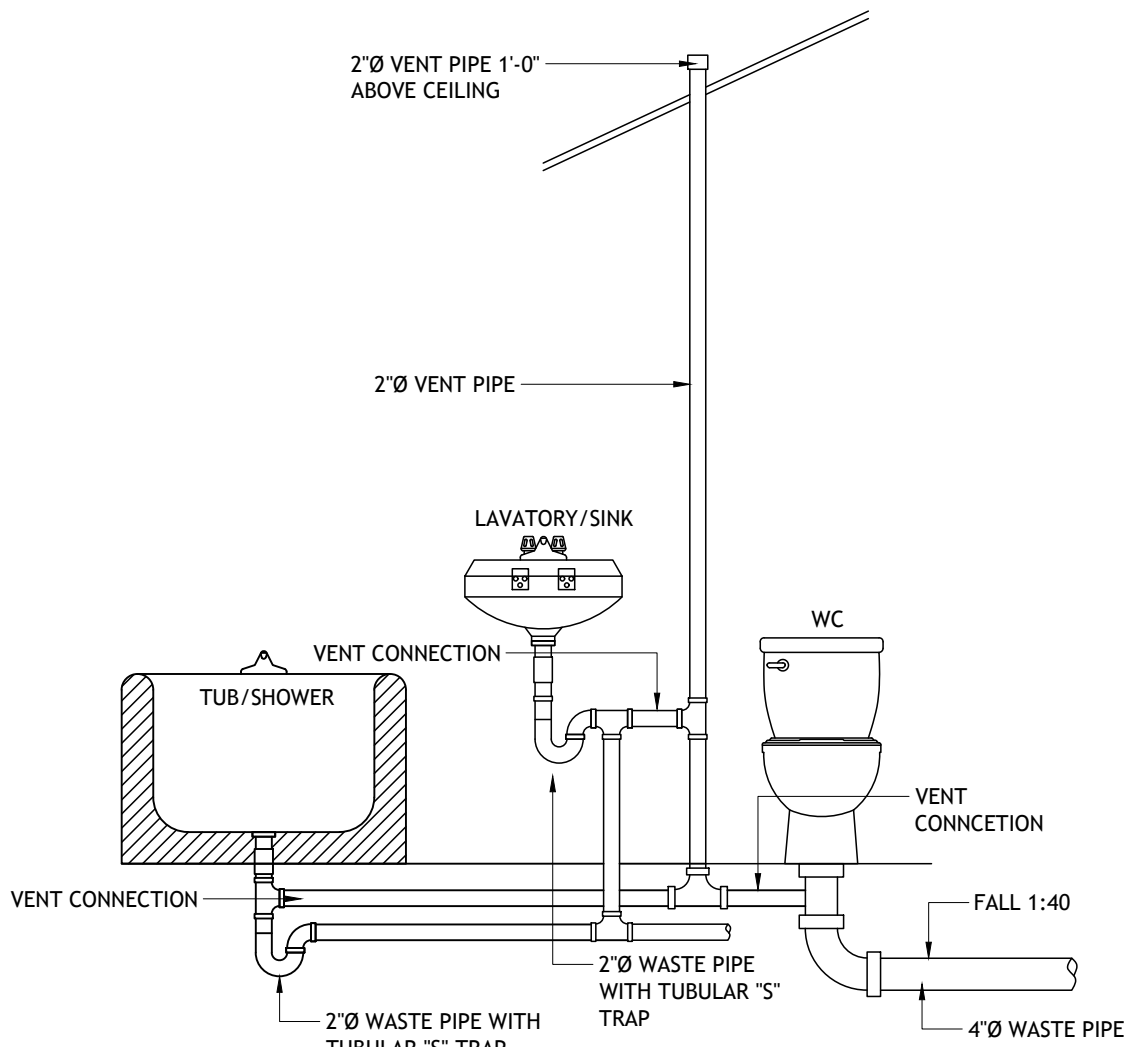
A WATER CLOSET DETAIL  
SCALE: N.T.S.



B HAND SINK DETAIL  
SCALE: N.T.S.



C LAUNDRY HOOKUP  
SCALE: N.T.S.



D PLUMBING RISER DETAIL  
SCALE: N.T.S.



SHEET NO.

P1

DWG NO.:  
SAN1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
PLUMBING PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME PLUMBING PLAN, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE PLAN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE PLAN FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE PLAN FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE PLAN FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.

STAMP

DRAWINGS PROVIDED BY:

SANVERMA DESIGN  
ARCHITECTURE | DESIGN | RENDERING

RELEASED FOR CONSTRUCTION



- HVAC NOTES:
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
  - CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY TRANSITIONS FROM MECHANICAL EQUIPMENT TO DUCTS.
  - MECHANICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO MAINTAIN ACCESS CLEARANCES FOR ALL MECHANICAL EQUIPMENT.
  - ALL EXPOSED (VISIBLE) DUCT SHALL BE SHEET METAL SINGLE WALL INTERNALLY LINED TYPE AND SURFACED FOR PAINTING. COLOR SELECTION BY ARCHITECT. (NO EXPOSED FLEX DUCT SHALL BE ALLOWED).
  - CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL MECHANICAL EQUIPMENT LOCATED ABOVE INACCESSIBLE CEILINGS.
  - ALL EXHAUST AND OUTSIDE AIR DUCTS SHALL BE INSULATED TO PREVENT CONDENSATION AS PER FBC ENERGY C403.2.7.1.3.
  - OUTSIDE AIR DAMPER FOR UNITS SHALL BE CLOSED WHEN UNITS ARE NOT IN OPERATION. PROVIDE MOTORIZED OR GRAVITY DAMPER AS PER FBC ENERGY C403.2.4.4.
  - ALL EXHAUST FANS SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS WHICH CLOSE WHEN THAT FAN IS NOT IN OPERATION. PROVIDE MOTORIZED OR GRAVITY DAMPER AS PER FBC ENERGY C403.2.4.4.
  - CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS AND ROOFING WORK WITH ROOFING CONTRACTOR AS REQUIRED TO MAINTAIN ROOF WARRANTY.
  - PROVIDE VOLUME DAMPERS ON ALL DIFFUSERS (VISIBLE ON PLAN OR NOT).
  - REDUCE DUCT 2" MAX. WHERE JOIST CAUSE CONFLICT.
  - BUILDING HVAC CALCULATIONS ARE TO BE PROVIDED BY THE MECHANICAL CONTRACTOR.

DUCTWORK	
DIAMETER	AIR FLOW CFM
4	20
5	50
6	80
7	120
8	170
9	230
10	300
12	500
14	740
16	1050
18	1400
20	1875

**HVAC LEGEND**

SUPPLY DUCT (WIDTH/ HEIGHT) XX/XX

RETURN DUCT (WIDTH/ HEIGHT) XX/XX

DUCT W/ SUPPLY DIFFUSER

DUCT W/ RETURN DIFFUSER OR GRILLE

EXHAUST FAN EF

AIR DEVICE DESIGNATOR CFM VALUE W/ NECK SIZE A XXX XØ

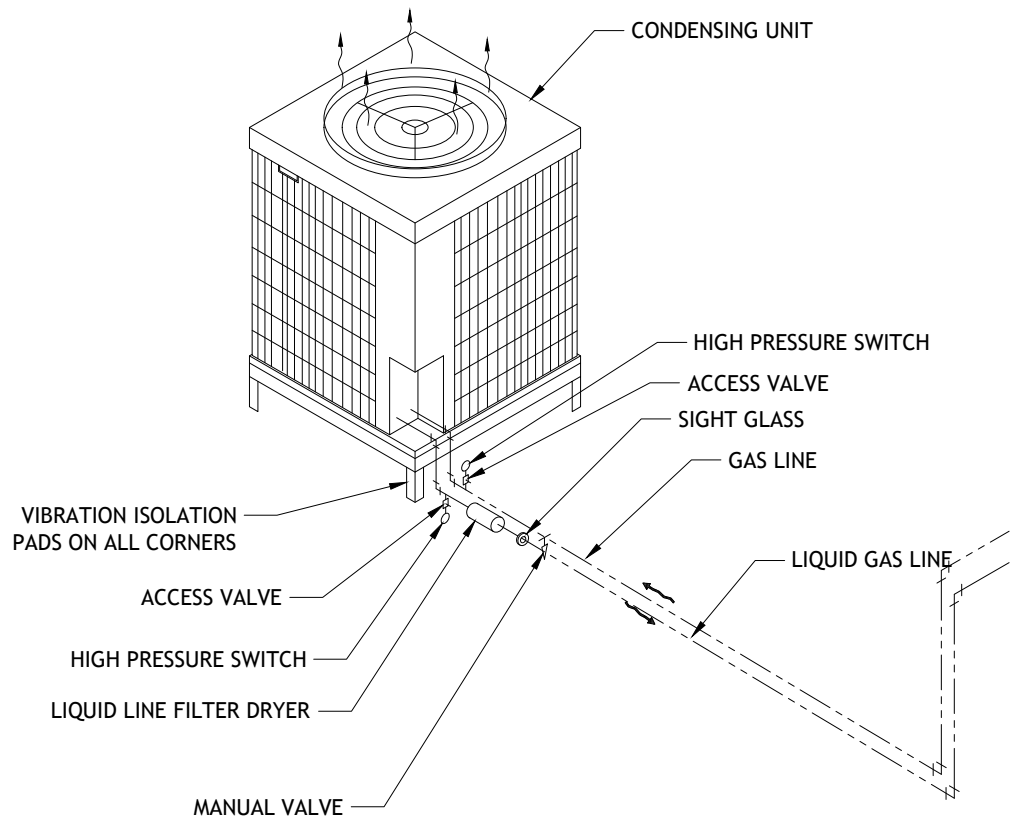
DRYER VENT

DRYER DUCT

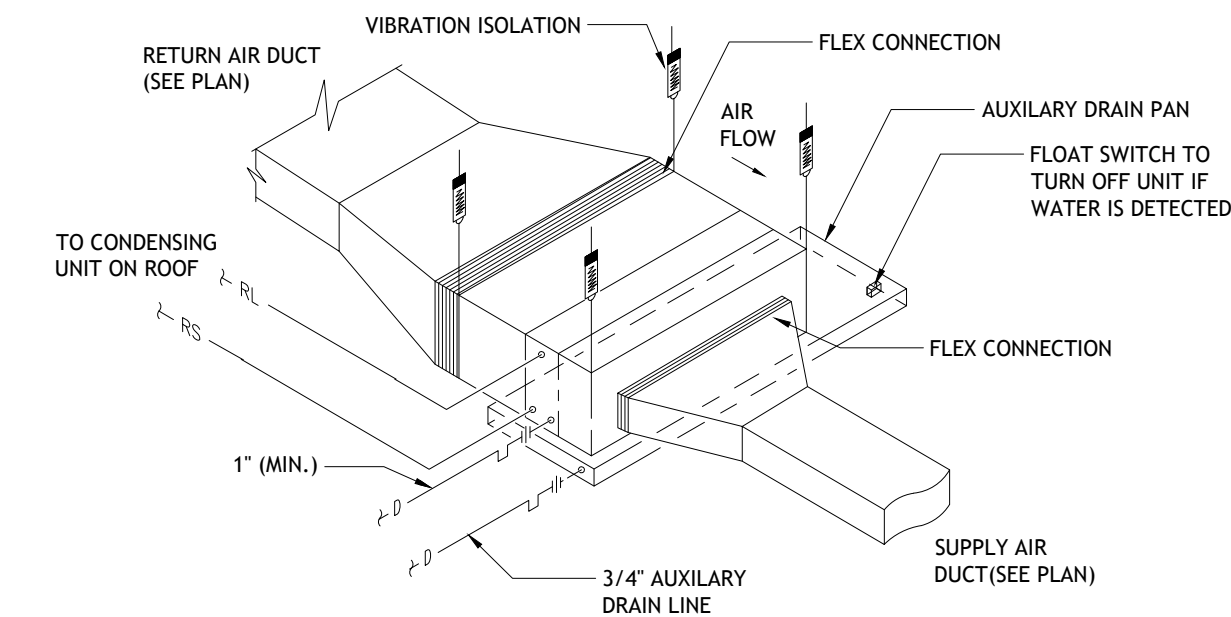
THERMOSTAT T

**NOTE:**

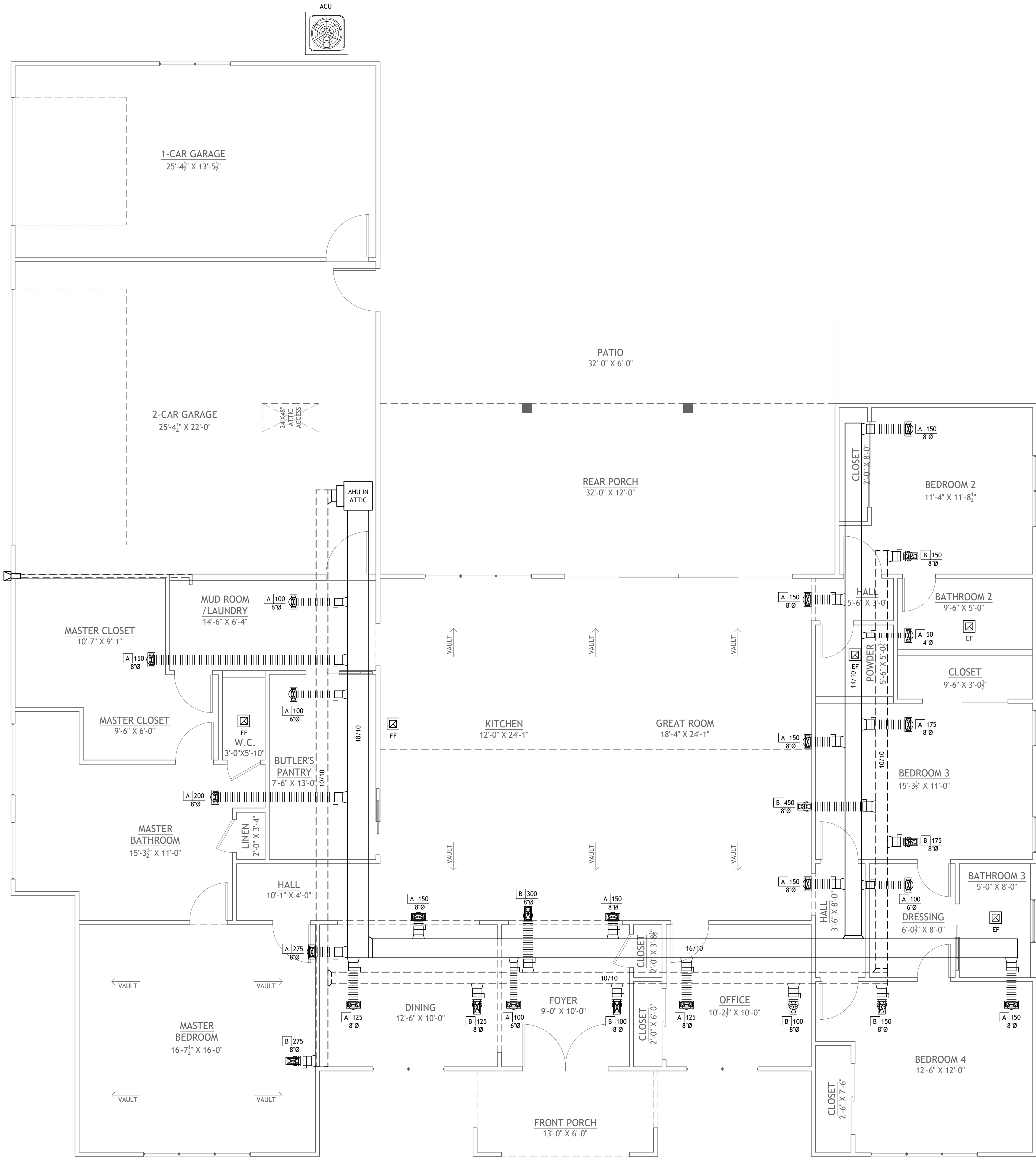
LOCATION AND NUMBER OF DIFFUSERS, DUCT SIZE, CFM VALUE AND NECK SIZE MAY CHANGE BASED ON SITE CONDITIONS. PLANS ARE GENERAL IN NATURE AND LOCAL CODES ARE TO BE FOLLOWED.



**B CONDENSING UNIT INSTALLATION**  
SCALE: N.T.S.



**A HORIZONTAL AIR HANDLING UNIT WITH DUCTED DISCHARGE AND RETURN**  
SCALE: N.T.S.



**1 HVAC PLAN**  
SCALE: 1/4" = 1'-0"



RELEASED FOR CONSTRUCTION

SHEET NO. **M1**

DWG NO.: SAN1691

REVISION:

SCALE: 1/4" = 1'-0" @ 24" X 36"

DATE: NOV 9, 24

CLIENT NAME: DANIEL HUMPHRIES

PROJECT ADDRESS: 2594 CASCADE RD ATLANTA, GA 30311

DRAWING TITLE: HVAC PLAN

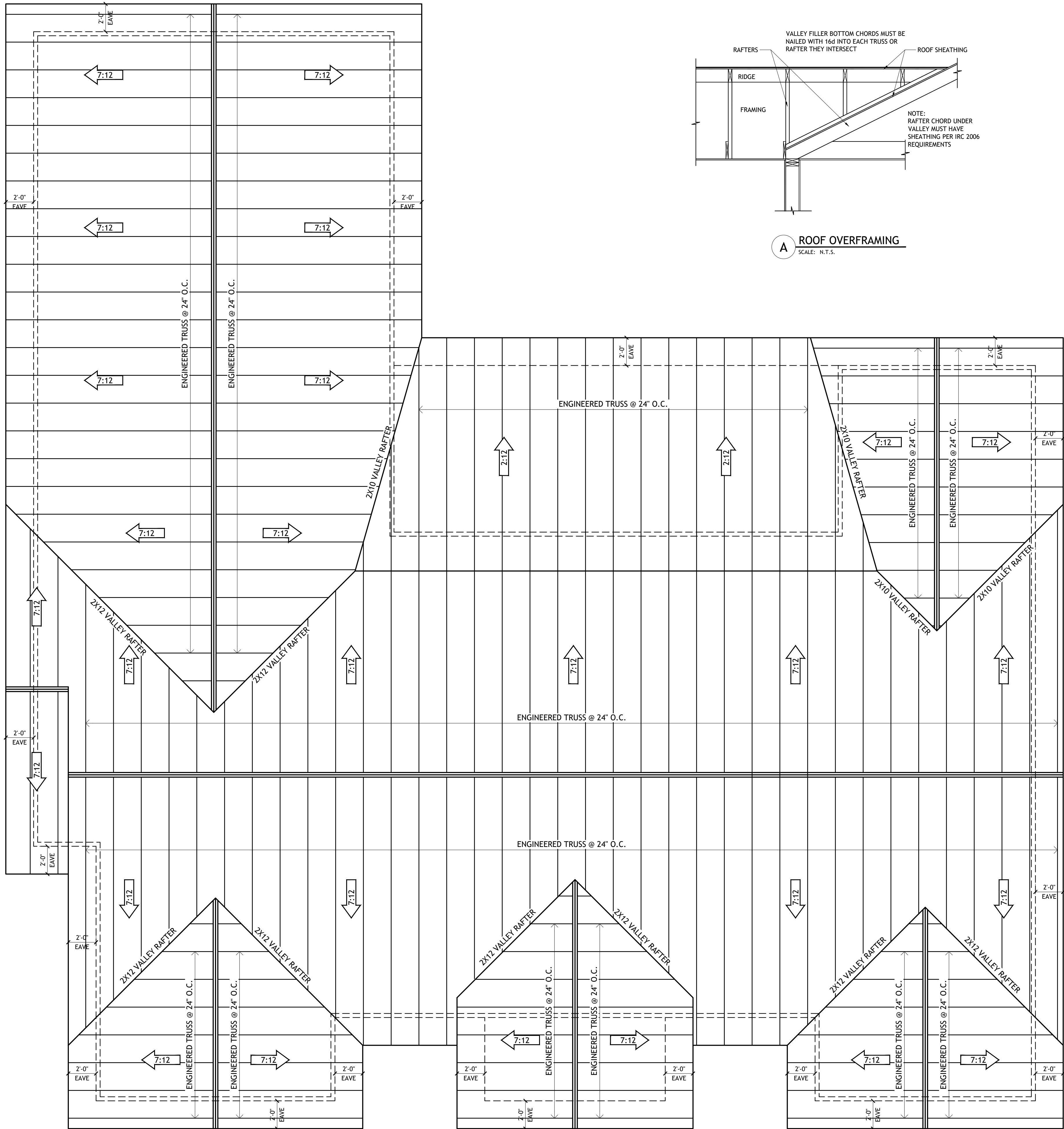
ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME PLAN, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE PLAN. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY STRUCTURAL FAILURES OR OTHER CONSTRUCTION DEFECTS THAT MAY BE FOUND IN THE HOME. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL CODES, ORDINANCES, OR REGULATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES OF THE HOME OR ANY OTHER DEFECTS THAT MAY BE FOUND IN THE HOME. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES OF THE HOME OR ANY OTHER DEFECTS THAT MAY BE FOUND IN THE HOME.

STAMP

DRAWINGS PROVIDED BY: **SANVERMA DESIGN** ARCHITECTURE | DESIGN | RENDERING



- ROOF NOTES:
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES.
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", NO.2 S.Y.P. UNLESS MENTIONED OTHERWISE OR AS REQ'D BY ENGINEER.
  3. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
  4. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
  5. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.



1 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

DWG NO.:  
SAN1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

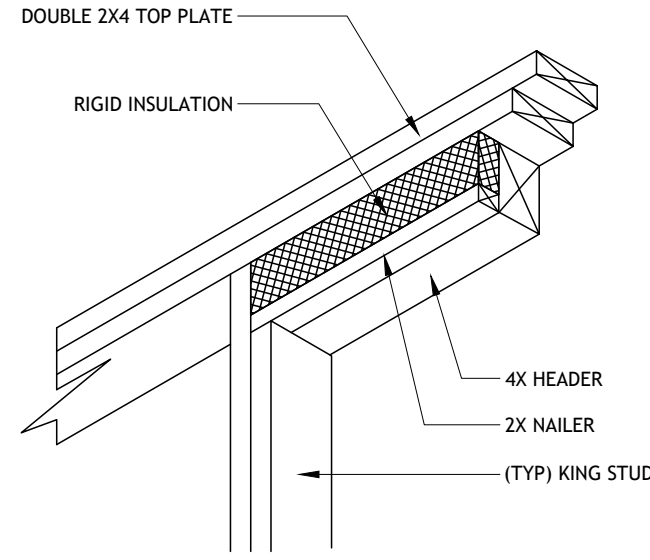
DRAWING TITLE:  
ROOF FRAMING PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME  
DESIGN, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS  
THAT MAY BE FOUND IN THE DESIGN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED  
TO THE DESIGN AND CONSTRUCTION OF THE ROOF FRAMING. THE ARCHITECT  
DOES NOT GUARANTEE THE ACCURACY OF THE DESIGN OR THE RESULTS OF THE  
CONSTRUCTION. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION  
PROVIDED BY THE CLIENT AND THE ARCHITECT ASSUMES NO LIABILITY FOR  
ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE DESIGN. THE  
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STAMP

DRAWINGS PROVIDED BY:

SANVERMA DESIGN  
ARCHITECTURE | DESIGN | RENDERING



EXTERIOR HEADER DETAIL

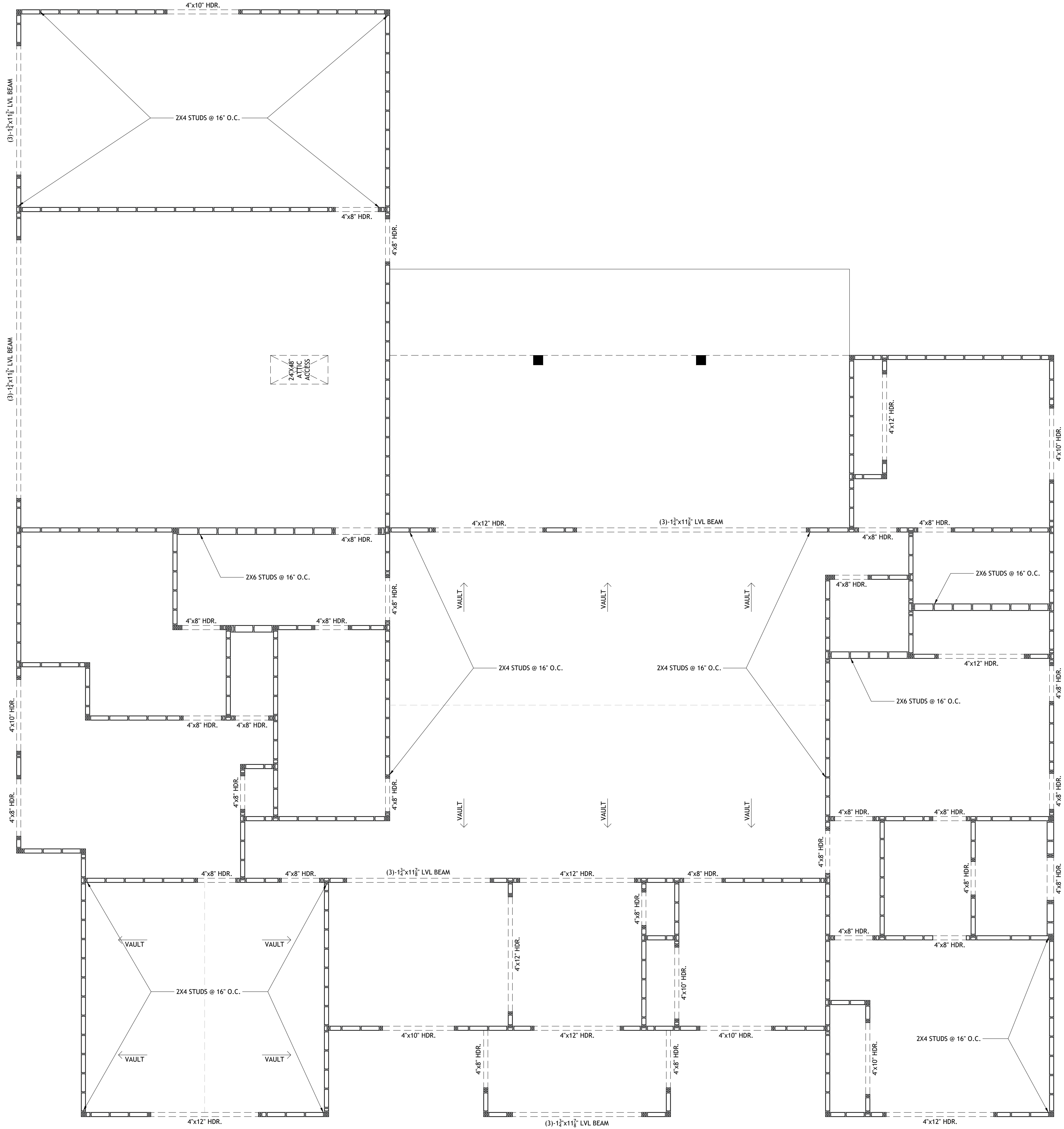
HEADERS #2 D.F. OR BETTER

UP TO 4'	4X8
4' TO 6'	4X10
6' TO 8'	4X12
OVER 8'	AS DETAILED

INTERIOR & EXTERIOR HEADER SCHEDULE

**A** HEADER DETAIL AND SCHEDULE

SCALE: N.T.S.



**1** WALL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

SHEET NO.

**S2**

DWG NO.:  
SANT1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
WALL FRAMING PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME  
DRAWING, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR  
INADEQUACIES THAT MAY BE FOUND IN THE DRAWING. THE ARCHITECT'S RESPONSIBILITY  
IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE HOME AS SHOWN ON THE  
DRAWING. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR  
CONSTRUCTION OF ANY OTHER STRUCTURES, INCLUDING BUT NOT LIMITED TO, THE  
FOUNDATION, ROOF, MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS. THE  
OWNER AND BUILDER TO CONSULT A LOCAL ARCHITECT OR ENGINEER AND TO CHECK WITH  
LOCAL BUILDING OFFICIALS BEFORE THE START OF CONSTRUCTION. ADDITIONAL  
ENGINEERING AND DESIGN MAY BE REQUIRED TO COMPLY WITH LOCAL BUILDING CODES.

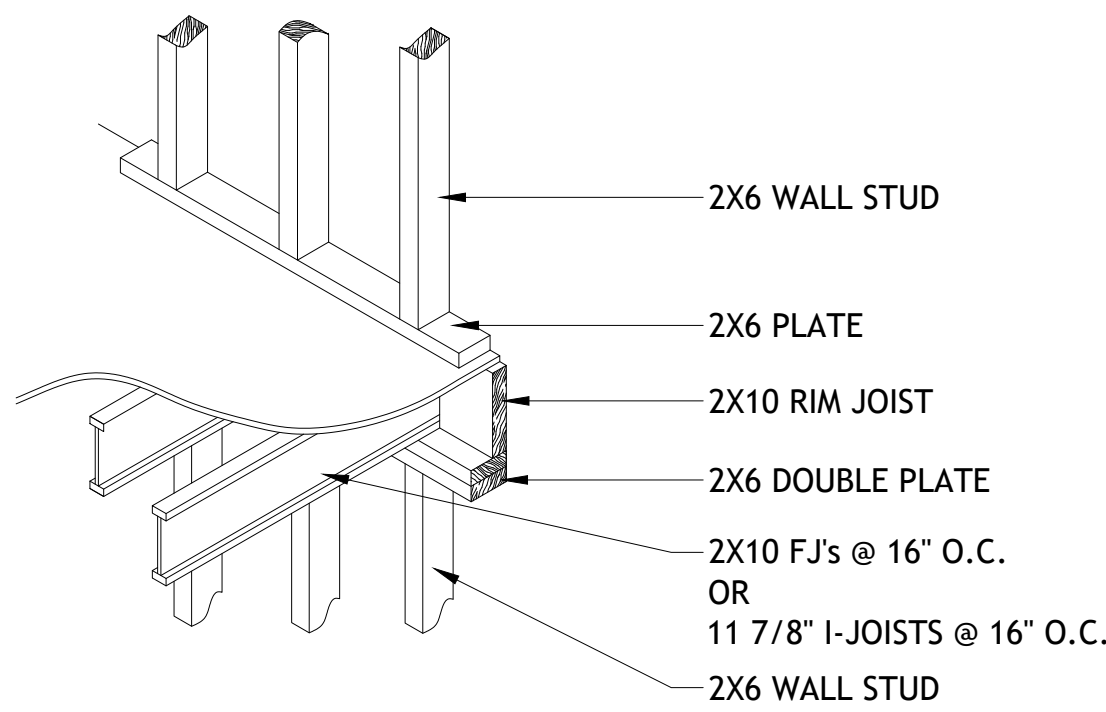
STAMP

DRAWINGS PROVIDED BY:

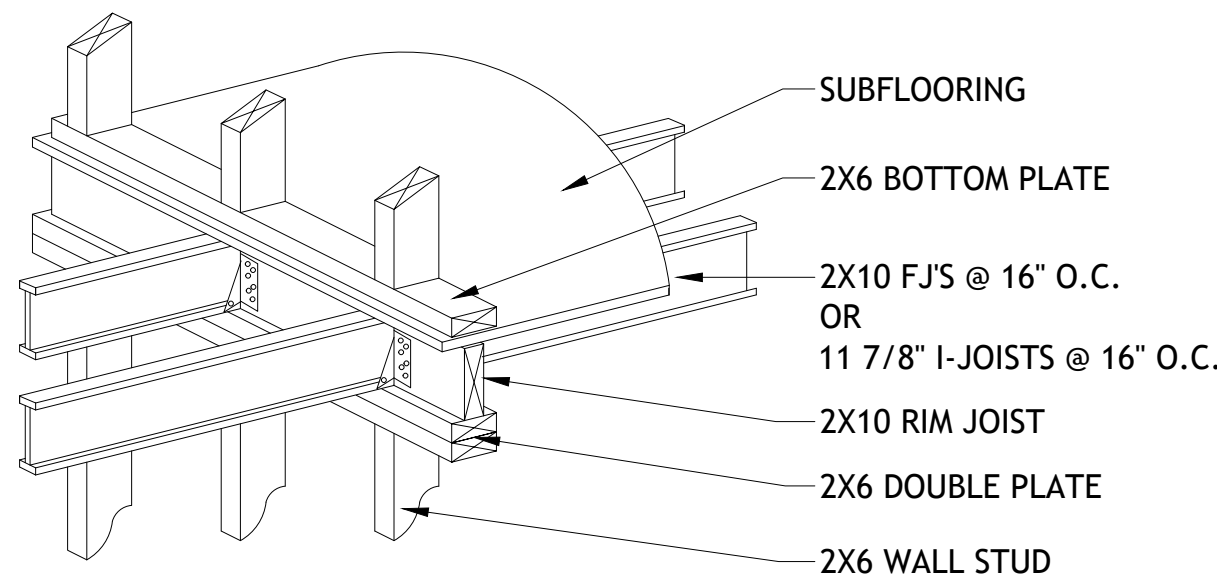




LEGEND	
RIM JOIST	<div></div>
CEILING JOIST	<div></div>
SOLID BLOCKING	<div></div>
(3) 1-3/4" X 11 7/8" LVL DROPPED	<div></div>



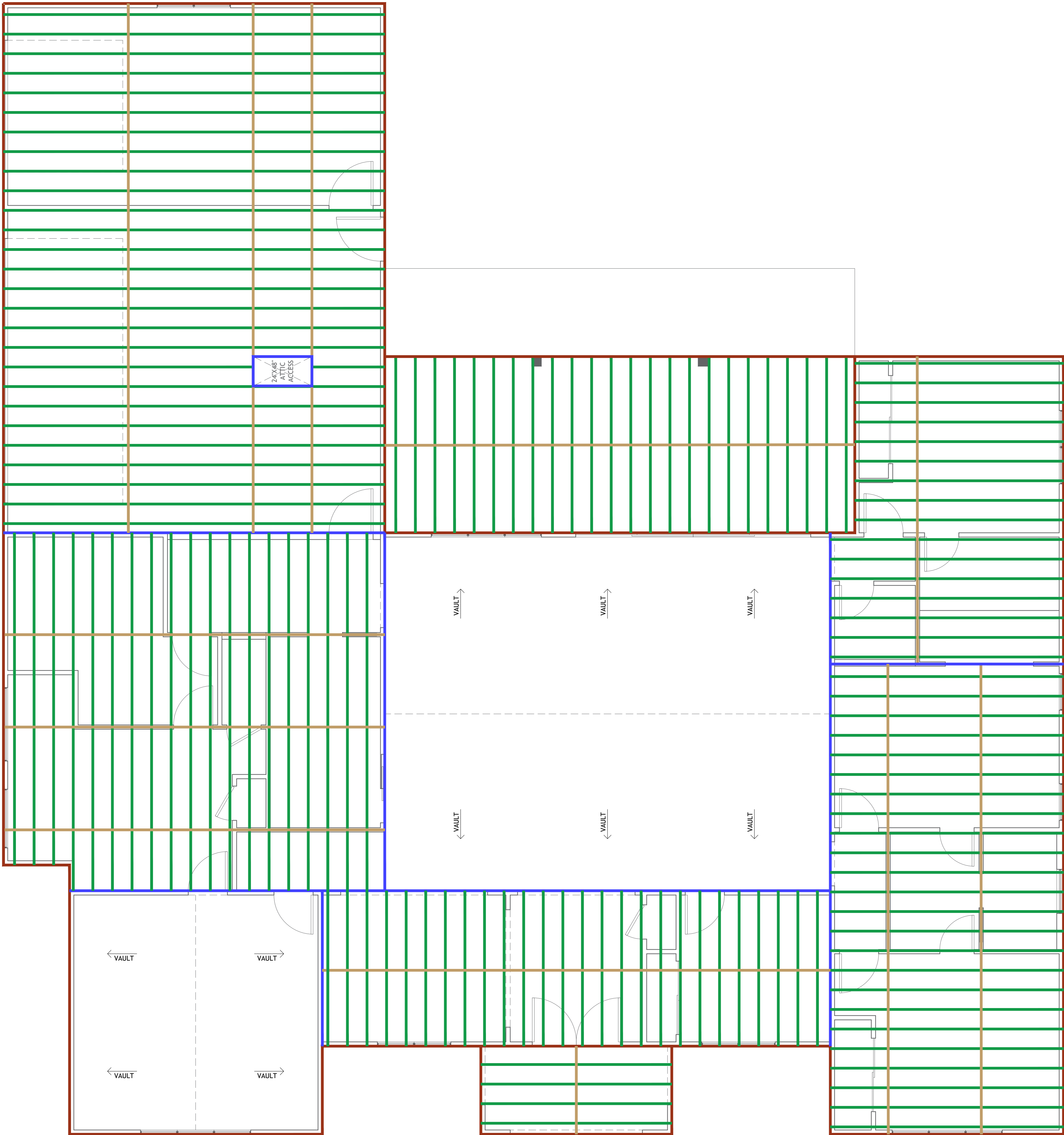
**A** FLOOR FRAMING AT EXTERIOR WALL  
SCALE: N.T.S.



**B** LOAD BEARING WALL AND FRAMING  
SCALE: N.T.S.

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTIC WITHOUT STORAGE, LIVE LOAD = 20PSF, L/A = 240) DEAD LOAD = 10 PSF		
**IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED, REFER TO INTERNATIONAL RESIDENTIAL CODE SPAN TABLES		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPAN) (FT.-IN.)
2"x4"	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2"x6"	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2"x8"	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2"x10"	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)



**1** CEILING JOIST PLAN  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

SHEET NO.  
**S3**

DWG NO.:  
SAN1691

REVISION:

SCALE:  
1/4" = 1'-0"  
@ 24" X 36"

DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES

PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
CEILING JOIST PLAN

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME DESIGN, THE DESIGNER MAKES NO WARRANTY, EXPRESS OR IMPLIED, THAT THE DESIGN IS FREE FROM ERRORS OR OMISSIONS. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OTHER ISSUES THAT MAY ARISE DURING THE CONSTRUCTION OF THE HOME. THE OWNER AND BUILDER ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES. ADDITIONAL ENGINEERING AND DESIGN MAY BE REQUIRED TO COMPLY WITH LOCAL BUILDING CODES.

STAMP

DRAWINGS PROVIDED BY:

**SANVERMA DESIGN**

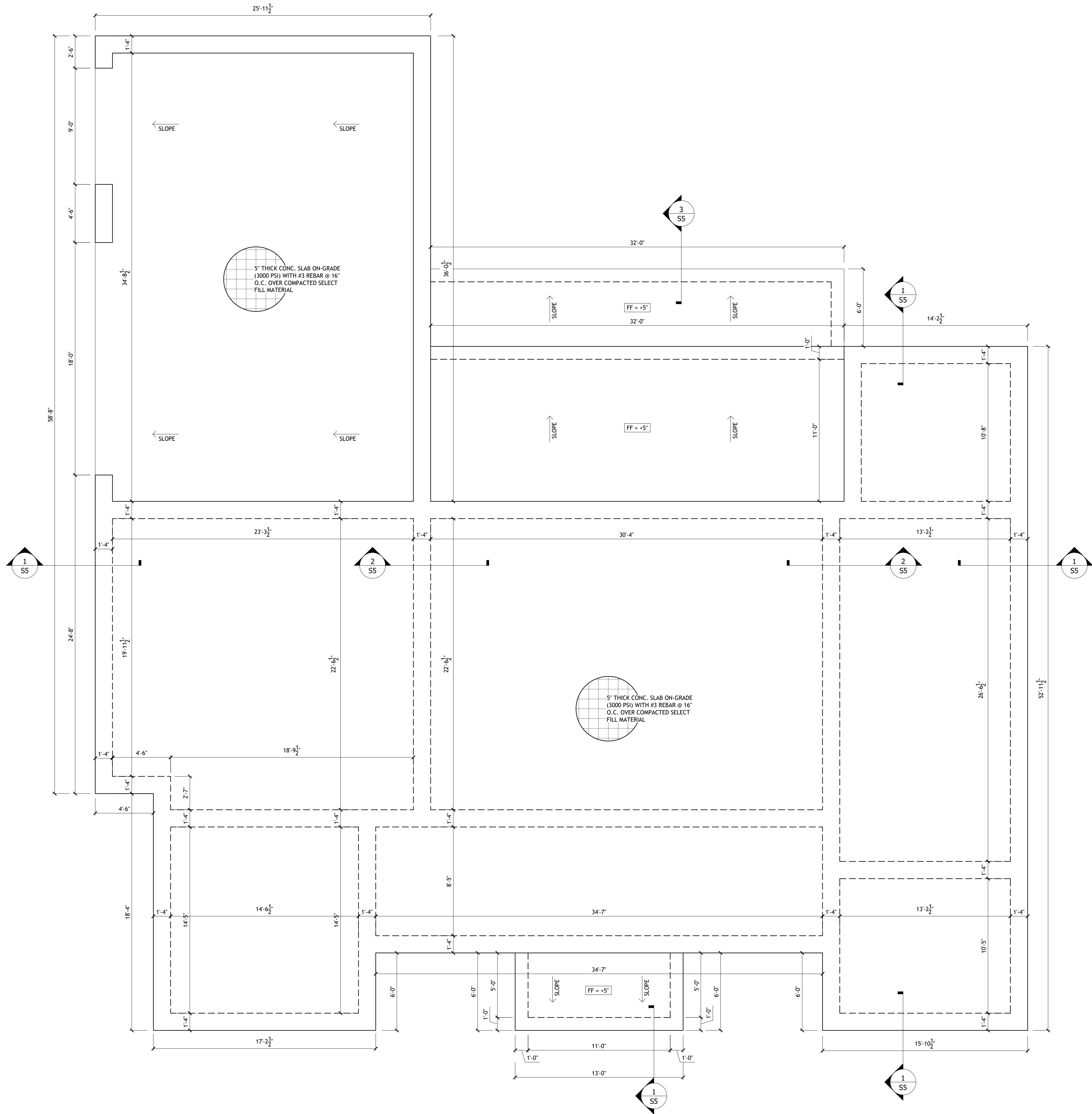
ARCHITECTURE | DESIGN | RENDERING

- FOUNDATION NOTES:
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO BID/INSTALLATION.
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
  - CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
  - SEE ARCHITECTURAL DRAWINGS FOR CONCRETE SLAB ELEVATIONS, DEPRESSIONS, SLOPES, OPENINGS, CURBS, DRAINS, TRENCHES, SLAB EDGE LOCATIONS, ETC., AND FOR WALL OVERALL DIMENSIONS, LOCATIONS OF OPENINGS, ETC., NOT INDICATED ON STRUCTURAL DRAWINGS.
  - VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO COMMENCING THE WORK.
  - ALL DIMENSIONS SHALL BE VERIFY IN FIELD PRIOR TO COMMENCING ANY DEMOLITION.
  - FOR FOUNDATION/SOIL/DRAINAGE SPECIFICATION REFER TO SOIL GEOTECHNICAL REPORT.
  - FOUNDATION PLANS AND PERTINENT DETAILS SHALL BE REVIEWED AND APPROVED BY THE SOILS ENGINEER PRIOR TO ANY FOUNDATION WORK. SOIL REPORT SHALL BE TAKEN PRECEDENCE OVER STRUCTURAL NOTES AND DETAILS. SITE GRADING, SUBGRADE PREPARATION, EXCAVATION, AND PLACEMENT OF ENGINEERED FILL MATERIAL SHALL BE PERFORMED IN ACCORDANCE WITH THE SOIL REPORT AND GRADING PLANS. ALL EXCAVATION AND PLACEMENT OF ENGINEERED FILL SHOULD BE OBSERVED AND APPROVED BY THE SOILS ENGINEER BEFORE PLACEMENT OF REBAR.
  - SURFACE OUTSIDE THE HOUSE NEEDS TO HAVE 5% SLOPE (UNPAVED SURFACE) & 2% SLOPE (PAVED SURFACE) AWAY FROM THE STRUCTURE.
  - ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
  - CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
  - CONTRACTOR TO PROVIDE WATERPROOFING AS REQUIRED TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
  - CONCRETE SLABS TO BE 4" (3000 PSI MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
  - CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY W/LOCAL CODES.
  - REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
  - PROVIDE JOISTS UNDER ALL WALLS RUNNING PARALLEL.

- SPECIFICATION NOTES
- REINFORCED CONCRETE SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE 2012 I.R.C. AND ALL LOCAL CITY OR COUNTY GUIDELINES.
  - ALL CONCRETE USED IN THE FOUNDATIONS AND SLABS ON GRADE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI.
  - THE MAXIMUM SLUMP SHALL NOT EXCEED 4 INCHES.
  - PROVIDE CONTROL JOINTS IN ALL EXPOSED SLABS ON GRADE. THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20' O.G., UNLESS OTHERWISE NOTED.
  - A CIVIL ENGINEER SHOULD BE CONSULTED TO VERIFY FOUNDATION PLANS AND DETAILS.

SITE DRAINAGE:

IT IS RECOMMENDED THAT THE DRAINAGE BE WELL DEVELOPED. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE FOUNDATION SOILS. (USE A MINIMUM SLOPE OF 2% WITHIN 10 FEET OF THE FOUNDATION. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION AND THE LANDSCAPING. THE BUILDER SHALL ADVISE THE OWNER OF THE SITE DRAINAGE REQUIREMENTS.



1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



RELEASED FOR CONSTRUCTION

SHEET NO.  
**S4**

DWG NO.:  
SANT1691  
REVISION:  
SCALE:  
1/4" = 1'-0"  
@ 24" X 36"  
DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES  
PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

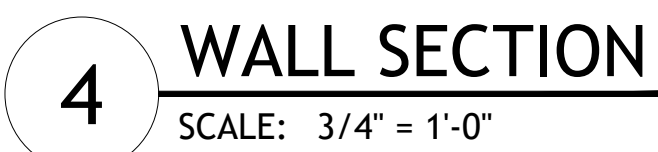
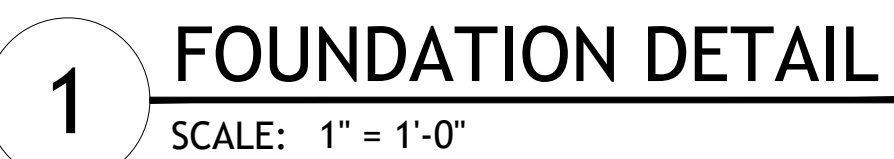
DRAWING TITLE:  
FOUNDATION PLAN

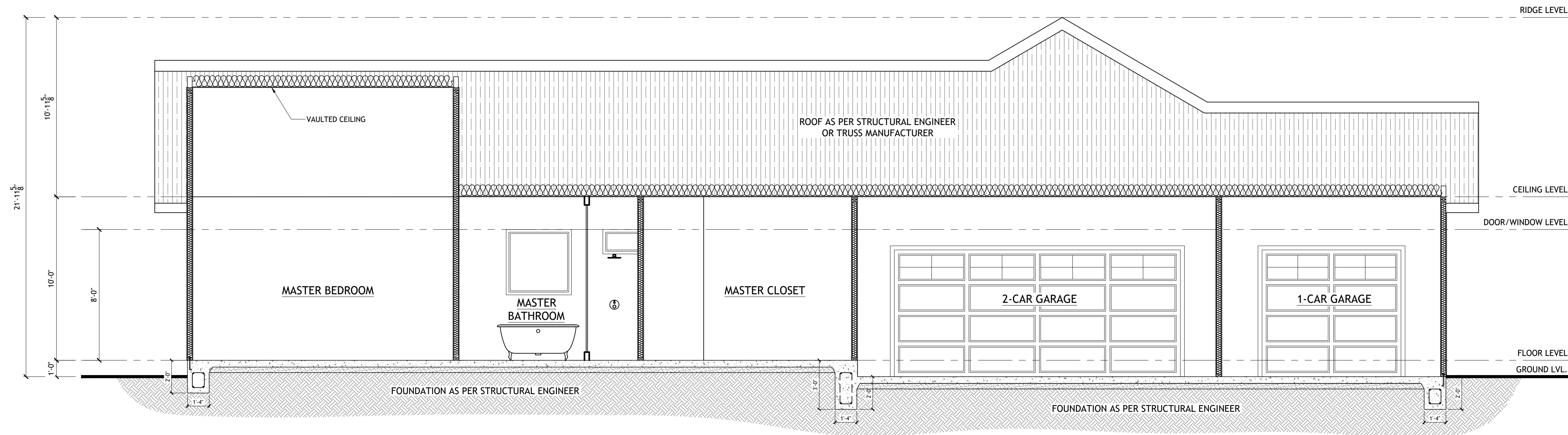
ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME PLAN, THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR OTHER DEFECTS THAT MAY BE CAUSED BY THE CONTRACTOR OR OTHERS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE HOME PLAN AND TO THE EXTENT OF THE ARCHITECT'S PROFESSIONAL OBLIGATION. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE HOME PLAN OR THE RESULTS OF THE CONSTRUCTION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE HOME PLAN AND TO THE EXTENT OF THE ARCHITECT'S PROFESSIONAL OBLIGATION. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE HOME PLAN OR THE RESULTS OF THE CONSTRUCTION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE HOME PLAN AND TO THE EXTENT OF THE ARCHITECT'S PROFESSIONAL OBLIGATION. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE HOME PLAN OR THE RESULTS OF THE CONSTRUCTION.

STAMP

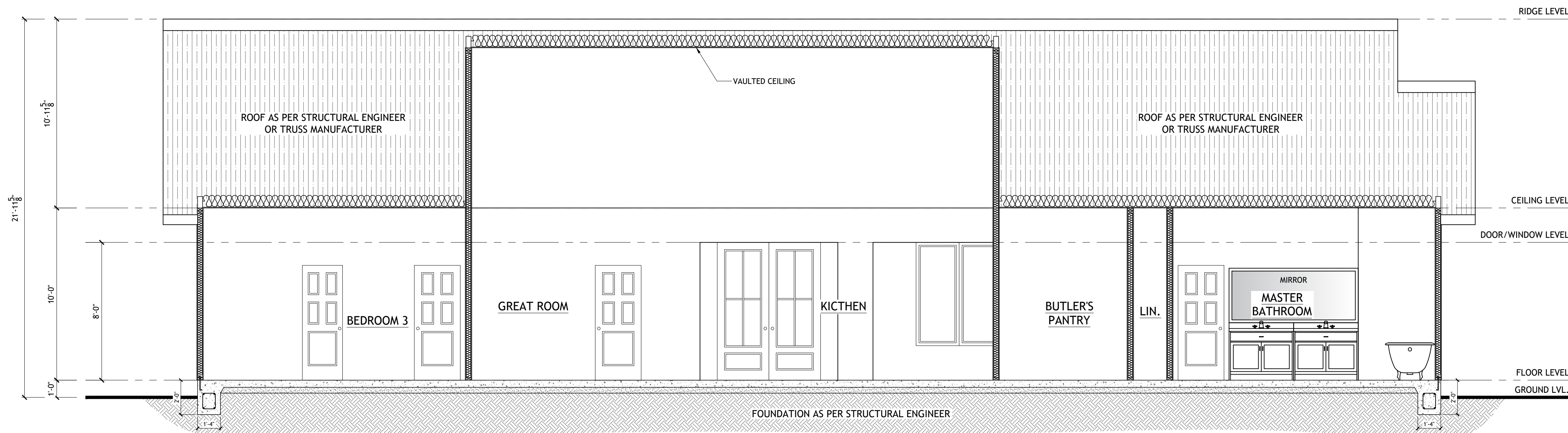
DRAWINGS PROVIDED BY:  
**SANVERMA DESIGN**  
ARCHITECTURE | DESIGN | RENDERING







1 SECTION A-A  
SCALE: 1/4" = 1'-0"



2 SECTION B-B  
SCALE: 1/4" = 1'-0"



SHEET NO.  
**S6**

DWG NO.:  
SANT1691  
REVISION:  
SCALE:  
1/4" = 1'-0"  
@ 24" X 36"  
DATE:  
NOV 9, 24

CLIENT NAME:  
DANIEL HUMPHRIES  
PROJECT ADDRESS:  
2594 CASCADE RD  
ATLANTA, GA 30311

DRAWING TITLE:  
SECTION A-A AND SECTION B-B

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME  
DRAWING, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS  
THAT MAY BE FOUND IN THE DRAWING. THE ARCHITECT'S RESPONSIBILITY IS LIMITED  
TO THE DESIGN OF THE BUILDING AS SHOWN ON THE DRAWING. THE ARCHITECT  
DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OF THE ROOF, FOUNDATION,  
MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS, OR FOR THE DESIGN OF  
ANY OTHER SPECIALTIES. THE ARCHITECT'S DESIGN IS BASED ON THE ASSUMPTION  
THAT THE CLIENT HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM  
THE APPROPRIATE AGENCIES. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR  
ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

STAMP

DRAWINGS PROVIDED BY:  
**SANVERMA DESIGN**  
ARCHITECTURE | DESIGN | RENDERING



- GENERAL NOTES:
1. "CODE" WHERE REFERRED TO HEREIN REFERS TO 2018 INTERNATIONAL RESIDENTIAL CODE (IRC).
  2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODE.
  3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWING AND SPECIFICATIONS.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUIDE DURING CONSTRUCTION. SAFETY AND BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS.
  6. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWING FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES AND FOR ALL PIPE SLEEVES, ELECTRICAL CONDUITS AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.
  7. IN ALL CASES WHERE A CONFLICT MAY OCCUR, SUCH AS BETWEEN ITEMS COVERED IN SPECIFICATIONS AND NOTES ON THE DRAWINGS OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ARCHITECT SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
  8. WHERE CONSTRUCTION MATERIALS ARE TEMPORARILY STORED ON ROOF OR FLOOR FRAMING, THEY SHALL BE DISTRIBUTED SO THAT THE LOAD DOES NOT EXCEED THE DESIGN LIVE LOAD.

WOOD FRAMING:

- 1.1 ALL DOUGLAS-FIR LARCH SHALL COMPLY WITH DOC P520 STANDARDS.
1. ALL HORIZONTAL LOAD CARRYING MEMBERS AND POSTS TO BE DOUGLAS FIR LARCH NORTH.
  - A. 2X GRADE NO. 2 TYPICAL U.N.O.
  - B. 4X, 6X GRADE NO. 1 TYPICAL U.N.O.
  - C. POST GRADE NO. 1 TYPICAL U.N.O.
2. STUDS, PLATES, SILLS AND BLOCKING TO BE GRADE #2 DOUGLAS FIR OR BETTER.
3. SILLS UNDER STUD PARTITIONS IN CONTACT WITH CONCRETE SHALL PRESSURE TREATED DOUGLAS FIR BOLTED TO CONCRETE WITH 5/8" X10" ANCHOR BOLTS SPACED NOT MORE THAN 4'-0" O.C. UNLESS NOTED OTHERWISE, THERE SHALL BE ONE BOLT WITHIN 9" OF EACH END OF EACH SILL PIECE. MINIMUM OF 2 BOLTS PER PIECE.
4. THE BRIDGING SHALL BE PROVIDED AS PER CODE.
5. A.B INTO WOOD FRAMING REQUIRE 3X30X.229" PLATE WASHERS
6. FRAMING MEMBERS SHALL NOT BE NOTCHED IN ANY MANNER EXCEPT WHERE SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
7. MINIMUM NAILING FOR ALL WOOD MEMBERS SHALL BE AS PER CODE UNLESS SPECIFICALLY NOTED.
8. STRUCTURAL PLYWOOD SHALL BE DEPA GRADE, STRUCTURAL CDX, THICKNESS AS NOTED ON PLANS WITH EXTERIOR GLUE CONFORMING TO PRODUCT DOS P51 OR P52. EACH SHEET SHALL BE IDENTIFIED BY A REGISTERED STAMP OR BRAND.
9. EDGES OF ALL OPENINGS THROUGH ROOF OR FLOOR SHALL BE NAILED PER BOUNDARY OF PLYWOOD DIAPHRAGM NAILING REQUIREMENTS.
10. ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR.
11. ALL WOOD FRAMING MAX. MOISTURE CONTENT TO BE 19%.
12. JOIST HANGERS AND OTHER CONNECTORS SHALL BE SIMPSON STRONG TIES OR EQUAL.

STRUCTURAL GLUE LAMINATED TIMBER:

1. MATERIALS, MANUFACTURE AND QUALITY CONTROL SHALL BE IN CONFORMANCE WITH COMMERCIAL STANDARD, C5-253, "STRUCTURAL GLUED LAMINATED TIMBER".
2. GLUED LAMINATED BEAMS SHALL BE COMBINATION 24F-V8, DOUGLAS FIR AND LARCH PER AITC 117-71 OR COMBINATION 24F-V8 WITH HEM FIR LAMINATION PER AITC.
3. ALL STRUCTURAL GLUED LAMINATED TIMBER SHALL BE INSPECTED DURING LAMINATION BY AN APPROVED INSPECTION AGENCY. A CERTIFICATE OF INSPECTION SHALL BE PROVIDED FOR THE ARCHITECT & BUILDING DEPARTMENT PRIOR TO ERECTION.
4. EACH GLUED LAMINATED BEAM SHALL BE STAMPED WITH IDENTIFICATION NUMBER AND SHALL BE ACCOMPANIED BY A CERTIFICATE OF INSPECTION.
5. THE GLUED LAMINATED BEAMS SHALL BE FURNISHED BY A LICENSED FABRICATOR SPECIALIZING IN THIS TYPE OF WORK. THE FABRICATOR SHALL SUBMIT COMPLETE SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

SHEAR WALL SCHEDULE

MARK	CAPACITY #L.F.	STRUCTURAL I PLYWOOD OR OSB	NAIL	BOUND	EDGE	INTERIM	SILL NAIL	SILL BOLTS	REMARKS
7	260	15/32 CDX	8d	4	4	12	16 d @ 3' O.C.	5/8" @ 24" O.C.	
8	380	15/32 CDX	8d	3	3	12	3/8" @ 5" L.G @ 10' O.C.	5/8" @ 16" O.C.	SEE #2
9	490	15/32 CDX	8d	2	2	12	3/8" @ 5" L.G @ 6" O.C.	5/8" @ 12" O.C.	SEE #2
10	640	15/32 CDX	10d	2	2	12	3/8" @ 5" L.G @ 4" O.C.	5/8" @ 8" O.C.	SEE #2

1. 7/8" STUCCO OVER PAPER BACKD LATH WITH 11 GA. FUR NAILS @ 6" O.C. @ T. & B. PLATE EDGE & FIELD (16d SILL NAIL @ 6" O.C.) CBCB YABLE 2306.4.5

1. HOLD-DOWN HARDWARE SECURED IN PLACE PRIOR TO CALLING INSPECTOR. SHALL BE TIGHTENED
2. SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS 4" O.C.
3. SILL PL. & STUDS @ EDGE OF PLYWOOD FOR SHEAR WALLS WITH LATERAL LOADS GREATER THAN 300 POUNDS/FOOT REQUIRE A 3 INCH NAIL OR GREATER MEMBER.
4. ALL BOLT HOLES SHALL BE DRILLED A MAX. OF 1/16" OVERSIZED.
5. 1/2" EDGE DISTANCE FOR PLYWOOD BOUNDARY NAILING.

STRUCTURAL STEEL

1. SHALL CONFORM TO THE PROVISIONS OF A.S.T.M. A-572 GR50 UNLESS OTHERWISE NOTED ON PLANS.
2. ALL WELDING IS TO COMPLY WITH A.W.S. SPECIFICATIONS AND IS TO BE DONE BY WELDERS APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY. ALL WELDING WILL BE DONE ELECTRIC ARC PROCESS AND SHALL BE PERFORMED WITH APPROVED ELECTRODES AS REQUIRED PER THE A.I.S.C. SPECIFICATION. WELDS ARE DESIGNED AT FULL STRESS AND MUST BE DONE IN THE SHOP OF A LICENSED FABRICATOR, EXCEPT WHERE OTHERWISE NOTED ON PLANS. CONTINUOUS INSPECTION IS REQUIRED FOR FIELD WELDS.
3. ALL BOLTS USED SHALL CONFORM TO A325 UNLESS OTHERWISE NOTED.
4. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED BY A LICENSED FABRICATOR APPROVED BY THE L.A. CITY OR COUNTY BUILDING DEPARTMENT AND A CERTIFICATE OF FABRICATION OR REPORT FROM THE SPECIAL INSPECTION MUST BE FURNISHED TO THE JOB INSPECTOR PRIOR TO FRAMING APPROVAL.
5. SHOP DRAWINGS FOR ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE SUBMITTED TO THE THE ARCHITECT AND APPROVAL OBTAINED PRIOR TO FABRICATION.
6. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRYPACK OR NON-SHRINK GROUT PLACED AS DIRECTED BY THE MANUFACTURER.
7. CONTINUOUS INSPECTION REQUIRED DURING INSTALLATION OF HIGH-STRENGTH BOLTS FIELD WELDING AND ORDINARY FRAMING.
8. ORDINARY MOMENT FRAMING SHALL BE TEST BY NONDESTRUCTIVE METHODS FOR COMPLIANCE WITH APPROVED STANDARDS AND JOB SPECIFICATIONS. THIS TESTING SHALL BE A PART OF THE REGULAR INSPECTION REQUIRED OF SECTION.
9. ELECTRIC ARC WELD PROCESS BY OPERATORS APPROVED BY BOARD OF AWS WELD-70XX ELECTRODES IN CONFORMATION TO LOCAL BUILDING CODE. ALL WELDING SHALL BE DONE BY EXPERIENCED AND CERTIFIED WELDERS IN ACCORDANCE W/ THE STANDARDS AND REQUIREMENTS FOR ELECTRIC ARC WELDING OF AWS SPEC. THE CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR CLAMPING OR HOLDING MEMBERS DURING WELDING IN ORDER THAT WARPING OR DISTORTION OF THE STRUCTURAL MEMBERS BE MINIMIZED. LENGTH OF WELDS NOTED ON DETAILS ARE NET AND DO NOT INCLUDE ALLOWANCE FOR CRATERS. ALL WELDS SHALL HAVE 1/4" EXTRA LENGTH EACH END TO ALLOW FOR CRATERS. WELD SHALL BE DEPOSITED BY NOT MORE THAN 1/4" THICK PASSES. PARTICULAR CARE SHALL BE EXERCISED TO PREVENT UNDERCUTTING OR REDUCING THE SELECTION OF MATERIALS AT WELDS.
10. A CERTIFICATE OF FABRICATION OR REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHED TO THE JOB INSPECTOR PRIOR TO FRAMING APPROVAL.

ANCHORAGE:

1. MIN. TWO BOLTS PER PIECE OF SILL PLATE AND ONE LOCATED WITHIN 12-INCH AND NOT LESS THAN 7 BOLT DIAMETER OR 4 INCH OF EACH END OF EACH SILL PLATE.
2. MIN. OF 5/8" DIAMETER A.B. EMBEDDED 7 INCH INTO FOOTING AND SPACED NOT MORE THAN 6" ON CENTER FOR ONE-STORY BUILDINGS OR 4 FEET ON CENTER TWO-STORY BUILDINGS
3. 3"X30X.229" PLATE WASHER SHALL BE USED ON EACH A.B.
4. ALL ANCHOR BOLTS AND HOLDOWNS SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.

FRAMING NOTES:

1. ROOF SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB (INDEX 24/0) WITH 80 COMMON NAIL AT: 6" O.C. IN BOUNDARY, 12" O.C. IN INTERMEDIATED (FIELD).
2. FLOOR SHEATHING TO BE 5/8" CD T & G PLYWOOD OR OSB (INDEX 32/16) WITH 100 COMMON NAIL AT: 6" O.C. IN BOUNDARY, 10" O.C. IN INTERMEDIATED (FIELD).
3. WOOD DIAPHRAGM TO BE INSPECTED AND APPROVED BY BUILDING DEPARTMENT PRIOR TO COVERING.
4. SEE DETAIL 5/5-1 FOR TYPICAL WALL SHEATHING DETAIL.
5. SEE DETAIL 4/5-1 FOR TYPICAL DIAPHRAGM DETAIL AND NOTES.
6. SEE DETAIL ON FRAMING PLAN FOR SHEAR WALL INDICATED BY
7. SEE SHEAR WALL DENOTE FULL LENGTH AND FULL HEIGHT OF THE WALLS.
8. STRUCTURAL OBSERVATION WILL BE PERFORMED WHEN REQUIRED BY THE BUILDING OFFICIAL.
9. A CERTIFICATE OF COMPLIANCE WILL BE PROVIDED FOR THE LAMINATED BEAMS.
10. THE MAX. DEPTH OF NOTCHING SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN.
11. THE MAX. DEPTH OF NOTCHING SHALL NOT EXCEED 1/4 THE DEPTH AT END OF SPANS.
12. PROVIDE SOLID 2X BLOCKING UNDER PARTITIONS PERPENDICULAR TO FLOOR JOIST
13. PROVIDE DOUBLE JOIST UNDER PARALLEL BEARING PARTITIONS
14. ROOF SHEATHING REQUIRES NAILING INSPECTION BEFORE COVERED.
15. HOLDOWN SHALL BE TIGHT BEFORE COVERED PLYWOOD SHEATHING.
16. 2-LAYER #15 BLACK PAPER COVERED PLYWOOD SHEATHING FOR SHEAR WALL.
17. STUCCO LATH & DRYWALL SHALL BE NAILED TO ALL STUDS & TO TOP & BOTTOM PL.
18. ROOF PLYWD SHALL BE BOND W/ INT. & EXT. GLUE & BE OF EXT. TYPE WHERE EXPOSED TO WEATHER.

FOUNDATION NOTES:

1. FOR FLOOR DIMENSION, CURBS, UNDER FLOOR DUCTS, CONDUITS, ETC.
2. VERIFY ALL CONDITIONS IN FIELD.
3. SEE DETAIL ON PLAN/5-1 FOR SHEAR WALL INDICATED BY
4. SEE DETAIL 1/5-1 FOR TYPICAL SLAB ON GRADE, CONTROL JOINTS, AND SLAB DEPRESSION DETAILS.
5. SHEAR WALLS - DENOTE FULL LENGTH AND FULL HEIGHT OF THE WALL
6. ANCHOR BOLTS ARE 5/8" @ 48" O.C. WITH GALVANIZED PLATE WASHER 3"X30X.229". ANCHOR BOLTS SHALL BE 12" AT EACH END WITH 7" MIN. EMBEDMENT.
7. ALL HOLDOWN HARDWARE, ANCHOR BOLTS & REBARS TO BE SECURED IN PLACE PRIOR TO CALL FOR INSPECTION.
8. SATURATE THE SOIL 18" DEEP BEFORE PLACING THE CONCRETE SLAB.
9. GRADING & FOOTING TO BE INSPECTED & CERTIFIED BY THE SOIL ENGINEER PRIOR TO POURING THE CONCRETE.
10. FASTENERS IN PRESERVATIVE TREATED WOOD OR FIRE RETARDANT TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL. IN ACCORDANCE W/ASTM A153.

CONCRETE:

1. CEMENT: TYPE V CONFORMING TO A.S.T.M. C-150 C.B.C.
2. ALL CONCRETE UNLESS OTHERWISE NOTED ON PLANS WILL BE REGULAR WEIGHT HARD ROCK TYPE (150 LB/CU.FT.). AGGREGATE SHALL CONFORM TO A.S.T.M. C-33 WITH PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN 0.04% AS PER A.S.T.M. C-157.
3. STRENGTHS: ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS - F'C=2500 PSI, ACI 318-11
4. MAXIMUM SLUMP OF CONCRETE USED IN FLOOR SLAB AT FLAT WORK SHALL BE FOUR(4) INCHES.
5. VIBRATION: VIBRATION OF CONCRETE SHALL BE IN ACCORDANCE WITH THE GENERAL PROVISIONS OUTLINED IN PORTLAND CEMENT ASSOCIATION SPEC. ST26.
6. CURING: CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE DAYS AFTER ITS PLACEMENT. APPROVED CURING COMPOUNDS MAY BE USED IN LIEU OF MOIST CURING.
7. STRENGTH TESTS OF CONCRETE SHALL BE REQUIRED AS PER CODE AND AS OUTLINED IN SPECIFICATION REPORTS TO BE FORWARD TO THE STRUCTURAL ENGINEER.
8. ANCHOR BOLTS, DOWELS, INSERTS, ETC. SHALL BE SECURELY TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
9. LOCATION OF CONSTRUCTION AND POUR JOINTS SHALL BE APPROVED BY THE ARCHITECT POURING CONCRETE.
10. CONTINUOUS INSPECTION REQUIRED FOR CONCRETE F'C GREATER THAN 2500 PSI.

SOIL INFO.:

1. THE FOUNDATION DESIGNED IS BASED ON THE RECOMMENDATIONS BY CBC 2016 TABLE 1806.2(LABC 2017)
2. THE SOIL BEARING VALUE USED FOR DESIGN OF FOOTING UPON UNDISTURBED SOILS AND 24" BELOW LOWEST FINISHED GRADE IS: 1500 PSF FOR SPREAD FOOTINGS, 1500 PSF FOR CONTINUOUS FOOTINGS.
3. SOIL ENGINEER MUST INSPECT AND APPROVE FOOTING EXCAVATION PRIOR TO PLACING REBARS AND APPROVAL TO BE PROVIDED TO THE BUILDING INSPECTOR BEFORE CITY APPROVAL OF FOUNDATION.

REINFORCING STEEL:

1. A. ALL REINFORCED STEEL TO CONFORM TO A.S.T.M. SPECIFICATION A615 GRADE 60 UNLESS NOTED OTHERWISE ON PLANS.
  - B. DEFORMATIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. A615.
2. UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE LAPPED 36 BAR DIAMETER OR 2'-0" MINIMUM WHICHEVER GOVERNS. ALL SPLICES SHALL BE LOCATED AS DETAILED ON PLANS.
3. CERTIFICATION AND TESTING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE PROVISION OF A.S.T.M. STANDARDS.
4. ALL REINFORCING STEEL SHALL BE SUPPORTED AND TIED IN CONFORMANCE WITH THE LATEST EDITION OF "THE MANUAL OF REINFORCING STEEL PRACTICE FOR REINFORCED CONCRETE STRUCTURES".
5. PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING OF CONCRETE UNLESS OTHERWISE NOTED:

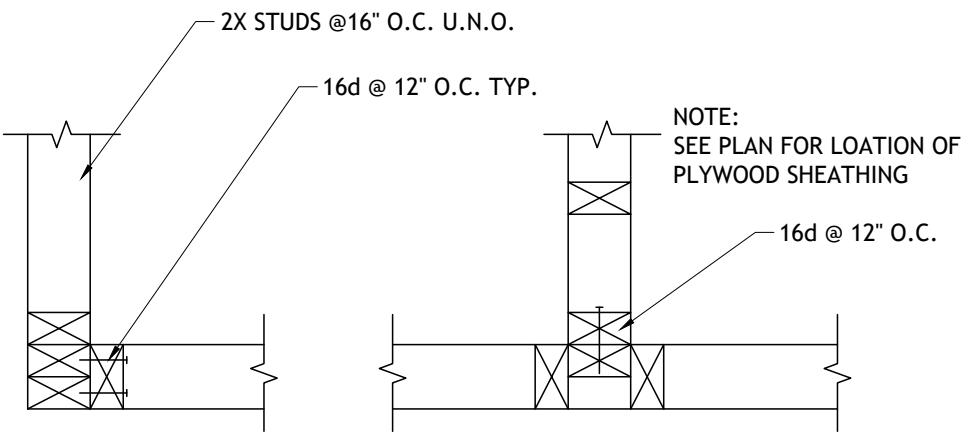
DEPOSITED AGAINST EARTH	3" CLEAR
IN CONTACT WITH EARTH (FORMED)	2" CLEAR

UNIFORM CODE PROGRAM  
SPECIAL INSPECTION PROGRAM

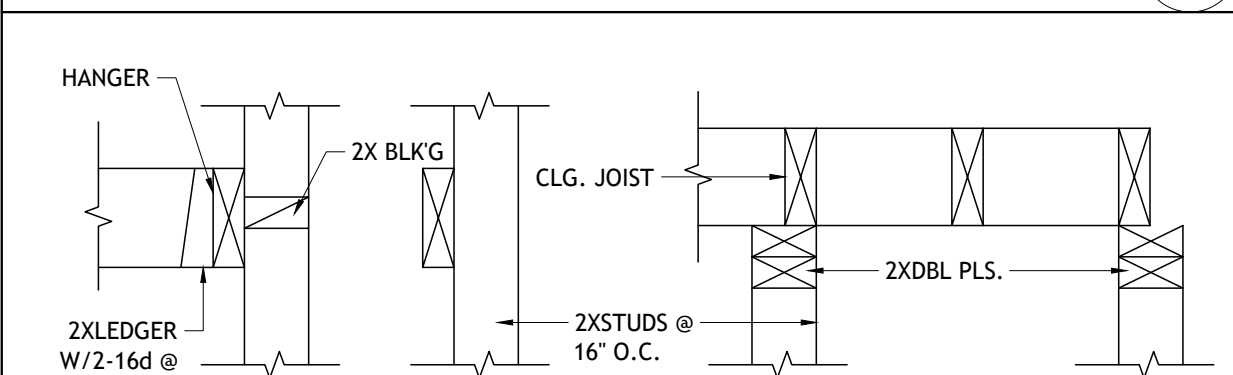
ITEMS (ONLY CHECKED ITEMS ARE REQUIRED)		DESCRIPTION (ONLY CHECKED ITEMS ARE REQUIRED)	INDIVIDUAL FORMS TO PERFORM S.I.
<input type="checkbox"/> CONCRETE	<input type="checkbox"/> ALL CONCRETE <input type="checkbox"/> ALL EXCEPT	<input type="checkbox"/> TEST: PER C.Y. @ 7 DAYS @ 28 DAYS @ HOLD.	
<input type="checkbox"/> BOLTS INSTALLED IN CONCRETE	<input type="checkbox"/> LOCATION AS INDICATED IN ALL CONCRETE DETAILS	<input type="checkbox"/> TEST: PER C.Y. @ 7 DAYS @ 28 DAYS @ HOLD.	
<input type="checkbox"/> SOCIAL MOMENT-RESISTING CONCRETE FRAME	<input type="checkbox"/> LOCATION AS INDICATED IN ALL CONCRETE DETAILS	<input type="checkbox"/> TEST: PER C.Y. @ 7 DAYS @ 28 DAYS @ HOLD.	
<input type="checkbox"/> REINFORCING STEEL AND PRE-STRESSING TENDONS	<input type="checkbox"/> STRESSING AND GRROUTING OF TENDONS	<input type="checkbox"/> STEEL PLACEMENT <input type="checkbox"/> PERIODIC INSPECTION <input type="checkbox"/> CONTINUOUS INSPECTION	
<input type="checkbox"/> STRUCTURAL WELDING	<input type="checkbox"/> ALL WELDING EXCEPT PERIODIC: <input type="checkbox"/> SINGLE PASS FILLET WELDS: $\geq \frac{1}{4}$ " CLADDING CONNECTION	<input type="checkbox"/> WELDED STUDS <input type="checkbox"/> COLD FORMED STEEL <input type="checkbox"/> METAL DECK	
<input type="checkbox"/> HIGH STRENGTH BOLTING	<input type="checkbox"/> SHAG TIGHT: <input type="checkbox"/> ALL <input type="checkbox"/> AS INDICATED <input type="checkbox"/> PRETENSION: <input type="checkbox"/> ALL <input type="checkbox"/> AS INDICATED	<input type="checkbox"/> STAYS & NAILING <input type="checkbox"/> REINFORCING STEEL	
<input type="checkbox"/> STRUCTURAL MASONRY	<input type="checkbox"/> WORKING STRESS DESIGN <input type="checkbox"/> FULL <input type="checkbox"/> HALF STRESSES <input type="checkbox"/> AS INDICATED	<input type="checkbox"/> STRENGTH DESIGN <input type="checkbox"/> EMPIRICAL DESIGN	
<input type="checkbox"/> PILING DRILLED PIERS AND CLOSING	<input type="checkbox"/> CORROSION BY GEOTECHNICAL ENGINEER IN ADDITION TO S.I.	<input type="checkbox"/> LOAD TESTING <input type="checkbox"/> CONTINUOUS INSPECTION <input type="checkbox"/> PERIODIC INSPECTION	
<input type="checkbox"/> SHOTCRETE	<input type="checkbox"/> PRE-CONSTRUCTION PANEL TESTING <input type="checkbox"/> IN-PLACE CORE TESTING	<input type="checkbox"/> EPOXY HOLDOWN AND ANCHORAGE SYSTEM (PERIODIC)	
<input type="checkbox"/> OTHERS	<input type="checkbox"/> SW AND SOW WALL (PERIODIC)		

STUDS	MAX. UNSUPPORTED HEIGHT*	
	BEAR'G WALL	NON BEAR'G WALL
2 X 4 @ 16"	10'-0"	14'-0"
2 X 6 @ 16"	14'-0"	20'-0"
2 X 8 @ 16"	18'-0"	24'-0"

\*MAX. DISTANCE BETWEEN FLOOR & ROOF



WOOD STUD SCHEDULE



CEILING JOIST SCHEDULE

CEILING JOIST ARE DESIGNED FOR DRYWALL OR PLAST (D.L. = 5 P.S.F. N.L.L. = 10 P.S.F.)			REMARKS
SIZE	SPACING	JOIST SPAN (MAX.)	
2X4	12" O.C.	12'-0"	THIS SCHEDULE APPLIES TO ALL RMS. U.N.O. ON PLANS SEE ARCHT. DRAWINGS FOR CLG. HEIGHT FIN. & SPECIFIC REQMTS.
	16" O.C.	10'-0"	
2X6	12" O.C.	18'-0"	
	16" O.C.	16'-0"	
2X8	12" O.C.	24'-0"	
	16" O.C.	21'-0"	
2X10	12" O.C.	26'-0"	
	16" O.C.	24'-0"	

CEILING JOIST SCHEDULE

NAILING SCHEDULE (IRC 2018 TABLE 2304.9.1) (ALL NAILS SHALL BE UTILIZE COMMON NAILS)		NAILING
1. JOIST TO SILL OR GIRDER TOE NAIL.		3- 8d
2. BRIDGING TO JOIST TOE NAIL EA. END.		2- 8d
3. 1X6 SUB FIR OR LESS TO EA. JOIST FACE NAIL.		2- 8d
4. WIDER THAN 1X6 SUB FIR. TO EA. JOIST FACE NAIL.		3- 8d
5. 2" SUB FLOOR TO JOIST OR GIRDER BLIND & FACE NAIL.		3- 16d
6. SOLE PL. TO JOIST OR BLKING FACE NAIL.		16d @ 16" O.C.
7. TOP PL. TO STUD END NAIL.		16d @ 16" O.C.
8. STUD TO SOLE PL. 4- 8d TOE NAIL OR 2-20d END NAIL.		16d @ 24" O.C.
9. DOUBLE STUDS FACE NAIL.		16d @ 16" O.C.
10. DOUBLE TOP PLS. FACE NAIL.		2- 16d
11. TOP PLS. LAPS & INTERSECTIONS FACE NAIL.		16d @ 16" O.C.
12. CONTINUOUS HDR. TWO PIECES.		3- 8d
13. CLG. JOISTS TO PL. TOE NAIL.		4- 8d
14. CONTINUOUS HDR. TO STUD TOE NAIL.		3- 16d
15. CLG. JOISTS LAPS OVER PARTITIONS FACE NAIL.		3- 8d
16. CLG. JOISTS TO PARALLEL RAFTERS FACE NAIL.		3- 8d
17. RAFTER TO PL. TOE NAIL.		2- 8d
18. 1" BRACE TO EA. STUD S PL. FACE NAIL.		3- 8d
19. 1X8 SHTG OR LESS TO EA. BEARING FACE NAIL.		3- 8d
20. WIDER THAN 1X8 SHTG TO EA. BEARING FACE NAIL.		3- 8d
21. BUILT-UP CNR. STUDS.		16d @ 24" O.C.

WIND & EARTHQUAKE DESIGN DATA:  
1. BASIC WIND SPEED-110 MPH  
2. WIND IMPORTANCE FACTOR I=1.0, RISK CATEGORY II  
3. WIND EXPOSURE-C  
4. ROOF DL=14 PSF, FLOOR LL=20 PSF  
5. FLOOR DL=14 PSF, FLOOR LL=40 PSF  
6. SITE CLASS D  
7. SPECTRAL RESPONSE COEFFICIENTS, S<sub>ds</sub>=1.693, S<sub>d1</sub>=0.848  
8. SEISMIC DESIGN CATEGORY D  
9. BASIC SEISMIC FORCE-RESISTING SYSTEM: WOOD SHEAR WALL SYSTEM  
10. DESIGN BASE SHEAR: V=62.7KN  
11. SEISMIC RESPONSE COEFFICIENT: C<sub>s</sub>=0.261  
12. RESPONSE MODIFICATION FACTOR: R=4  
13. ANALYSIS PROCEDURE USED: SEE LATERAL DESIGN  
14. REDUNDANCY FACTOR R<sub>mu</sub>=1.3

QUALITY CONTROL PROGRAM  
AND DESIGNATION OF  
STRUCTURAL OBSERVER

PROJECT ADDRESS: \_\_\_\_\_ PERMIT APPL. NO.: \_\_\_\_\_  
DESCRIPTION OF WORK: \_\_\_\_\_  
OWNER: \_\_\_\_\_ ARCHITECT \_\_\_\_\_ ENGINEER: \_\_\_\_\_

STRUCTURAL OBSERVATION  
(ONLY CHECKED ITEMS ARE REQUIRED)

FOUNDATION	WALL	FRAME	DIAPHRAGM
<input type="checkbox"/> FOOTING, STEM, WALLS, PIERS	<input type="checkbox"/> CONCRETE	<input type="checkbox"/> STEEL MOMENT FRAME	<input type="checkbox"/> CONCRETE
<input type="checkbox"/> MAT FOUNDATION	<input type="checkbox"/> MASONRY	<input type="checkbox"/> STEEL MOMENT FRAME	<input type="checkbox"/> STEEL DECK
<input type="checkbox"/> CAISSON, PILES, GRADE, BEAMS	<input type="checkbox"/> WOOD	<input type="checkbox"/> CONCRETE MOMENT FRAME	<input type="checkbox"/> WOOD
<input type="checkbox"/> STEPPG/RETAIN'G FOUNDATION HILLSIDE SPECIAL ANCHORS	<input type="checkbox"/> OTHERS:	<input type="checkbox"/> MASONRY WALL FRAME	<input type="checkbox"/> OTHERS:
<input type="checkbox"/> OTHERS:	SIMPSON STRONG WALL		

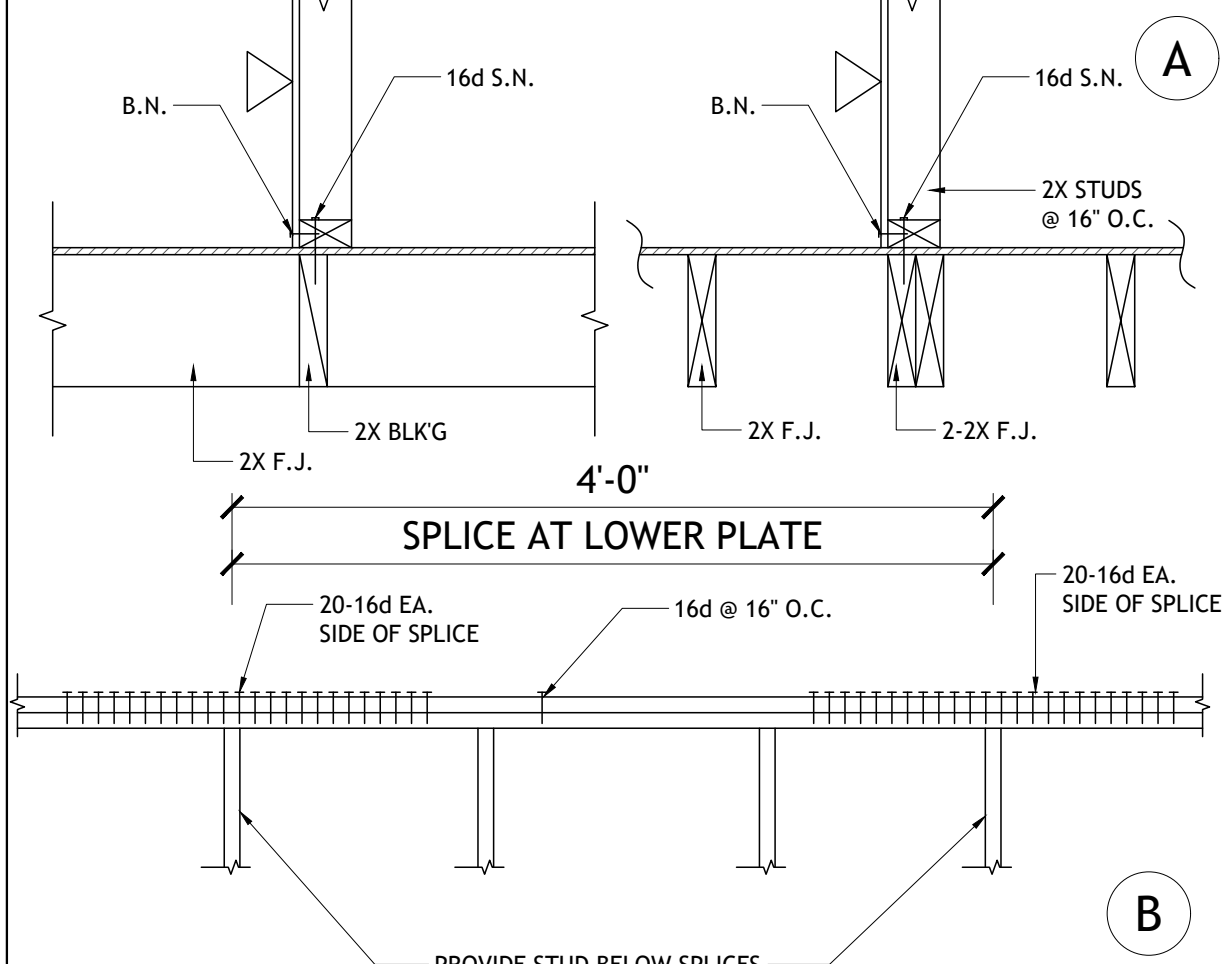
DECLARATION BY OWNER(REQUIRED IN ANY CASE)  
I, THE OWNER OF THE PROJECT, DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS HIRED BY ME, AND NOT BY OTHERS, TO BE THE STRUCTURAL OBSERVER.

SIGNATURE DATE

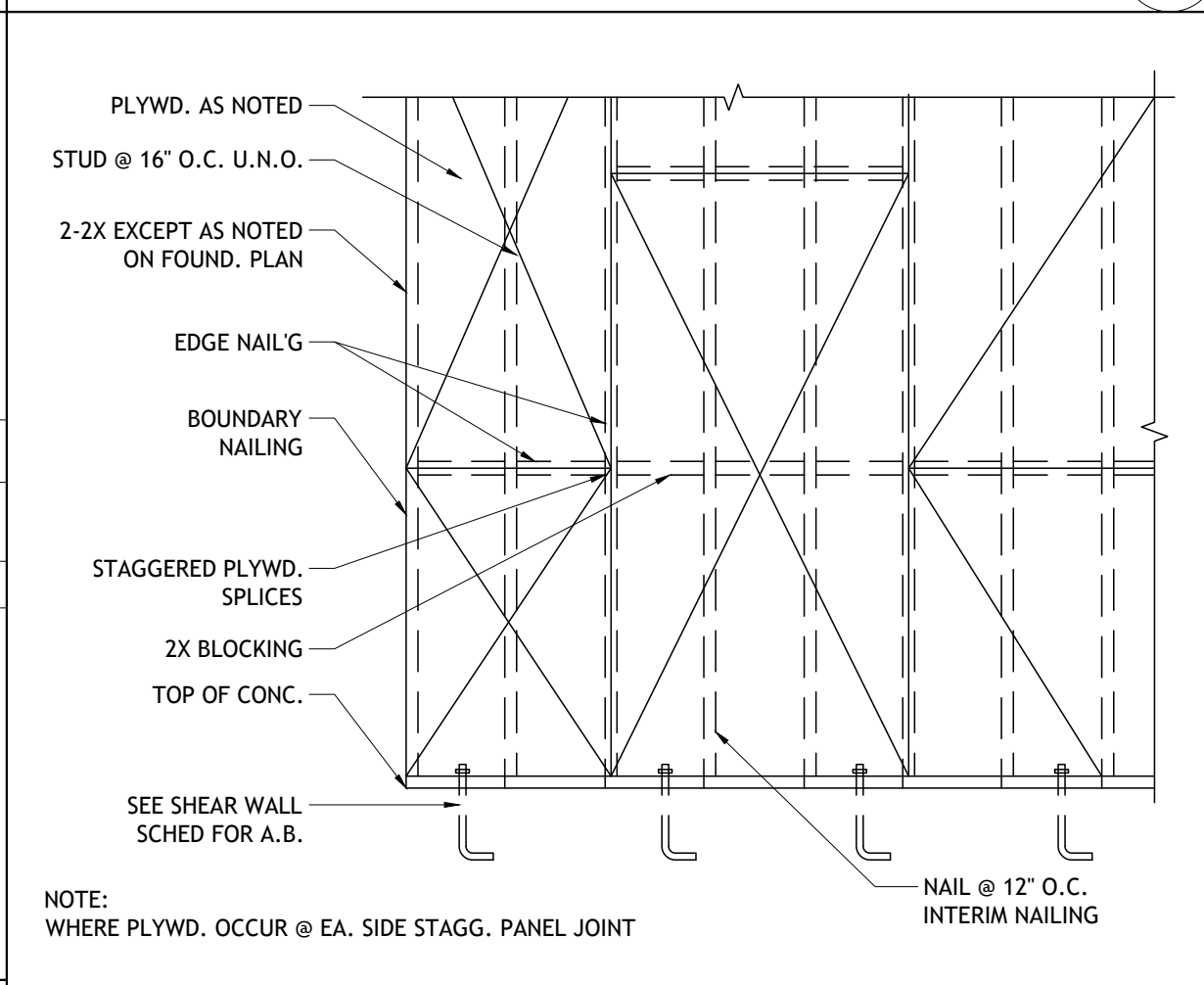
DECLARATION BY ENGINEER OR ARCHITECT OF RECORD(REQUIRED IF DIFFERENT FROM THE LIS STRUCTURAL OBSERVER)

I, THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT, DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS DESIGNATED BY ME TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION.

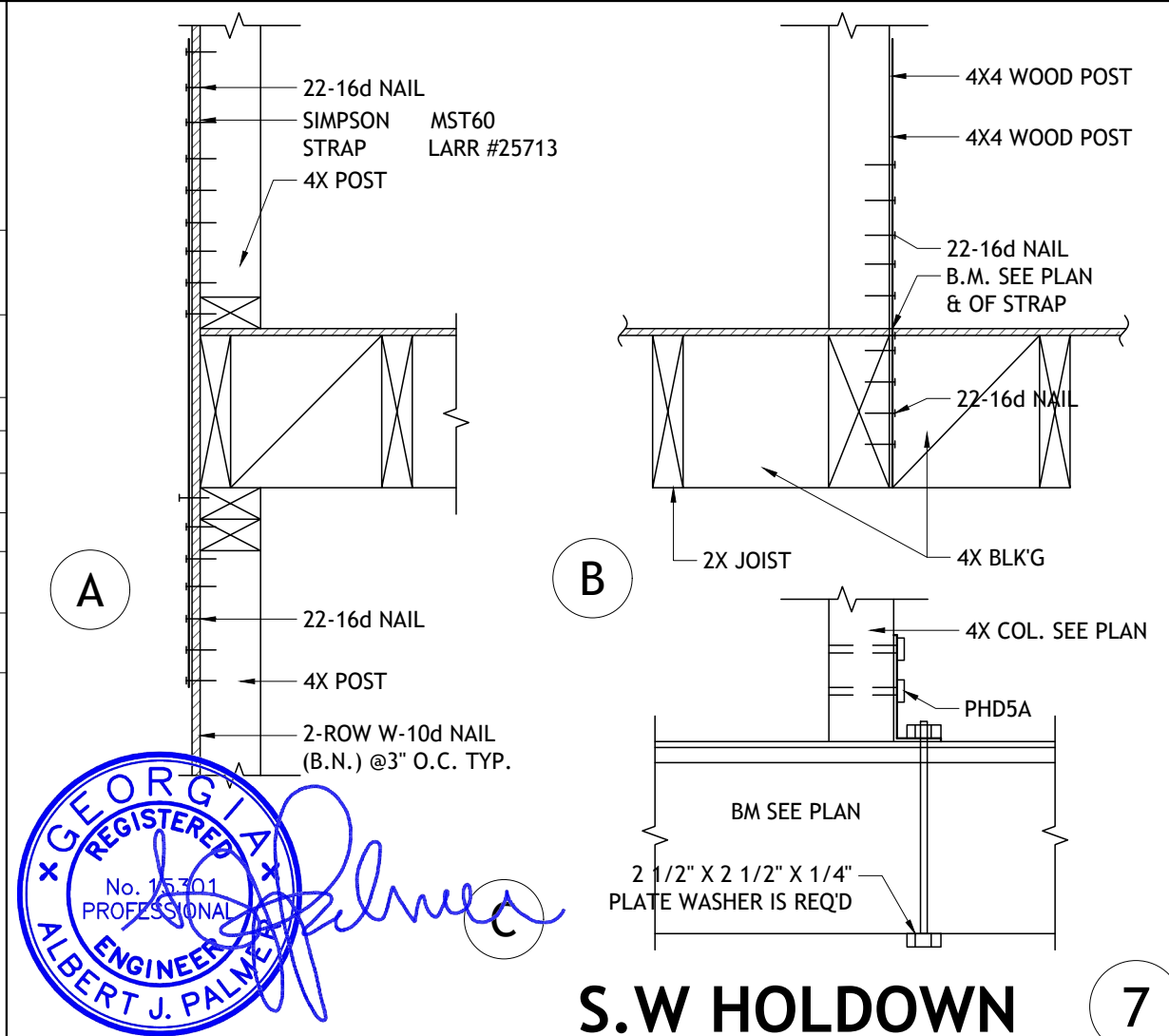
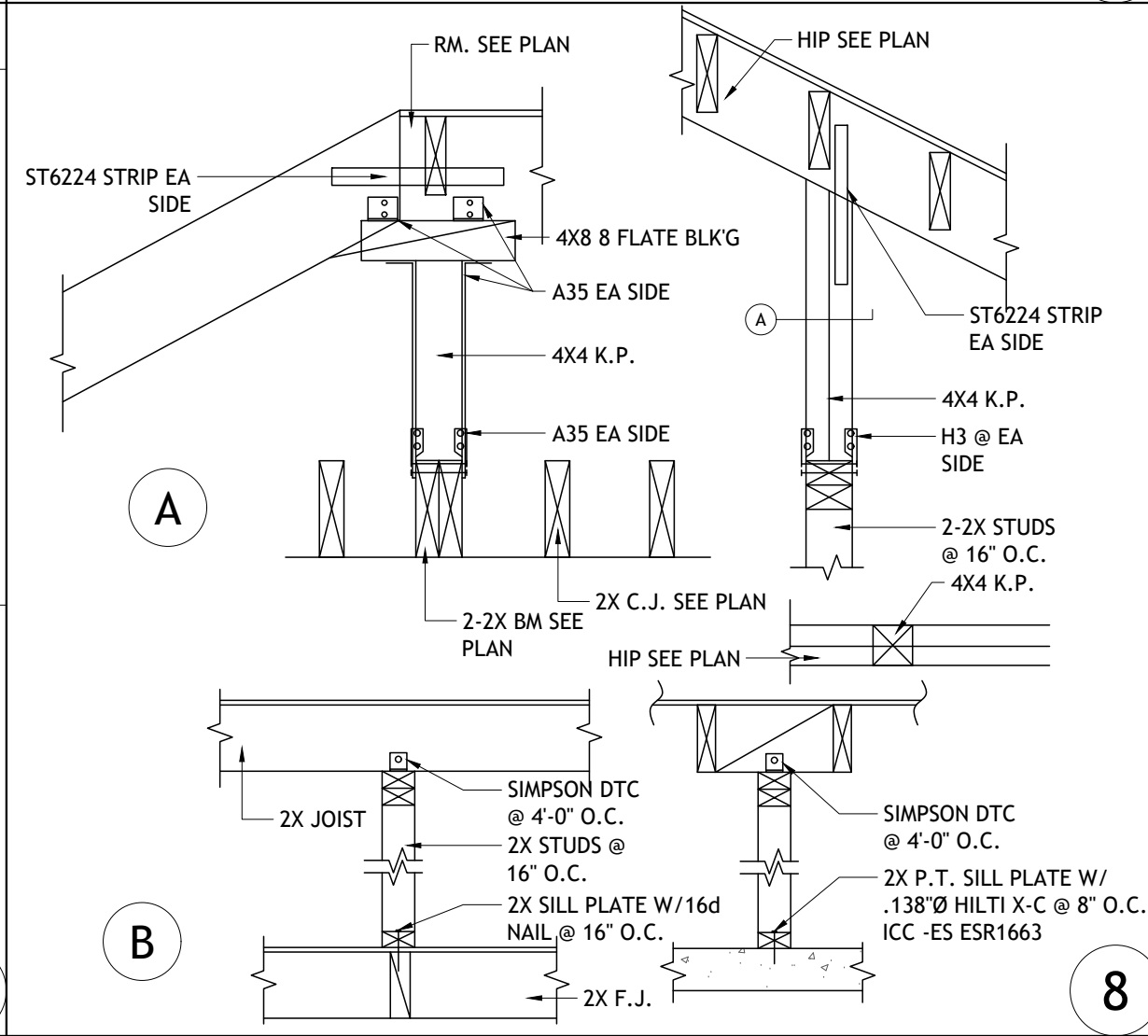
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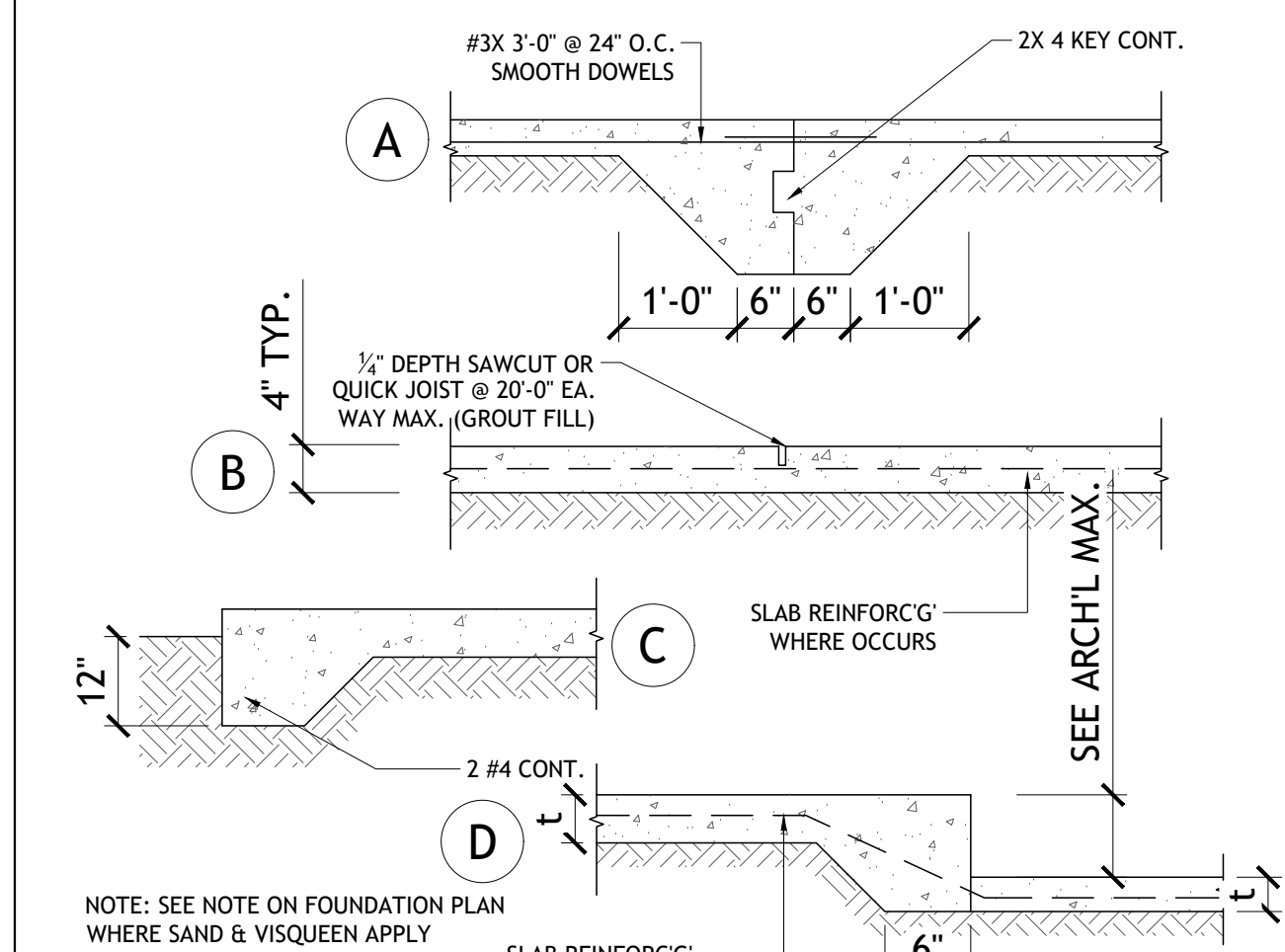
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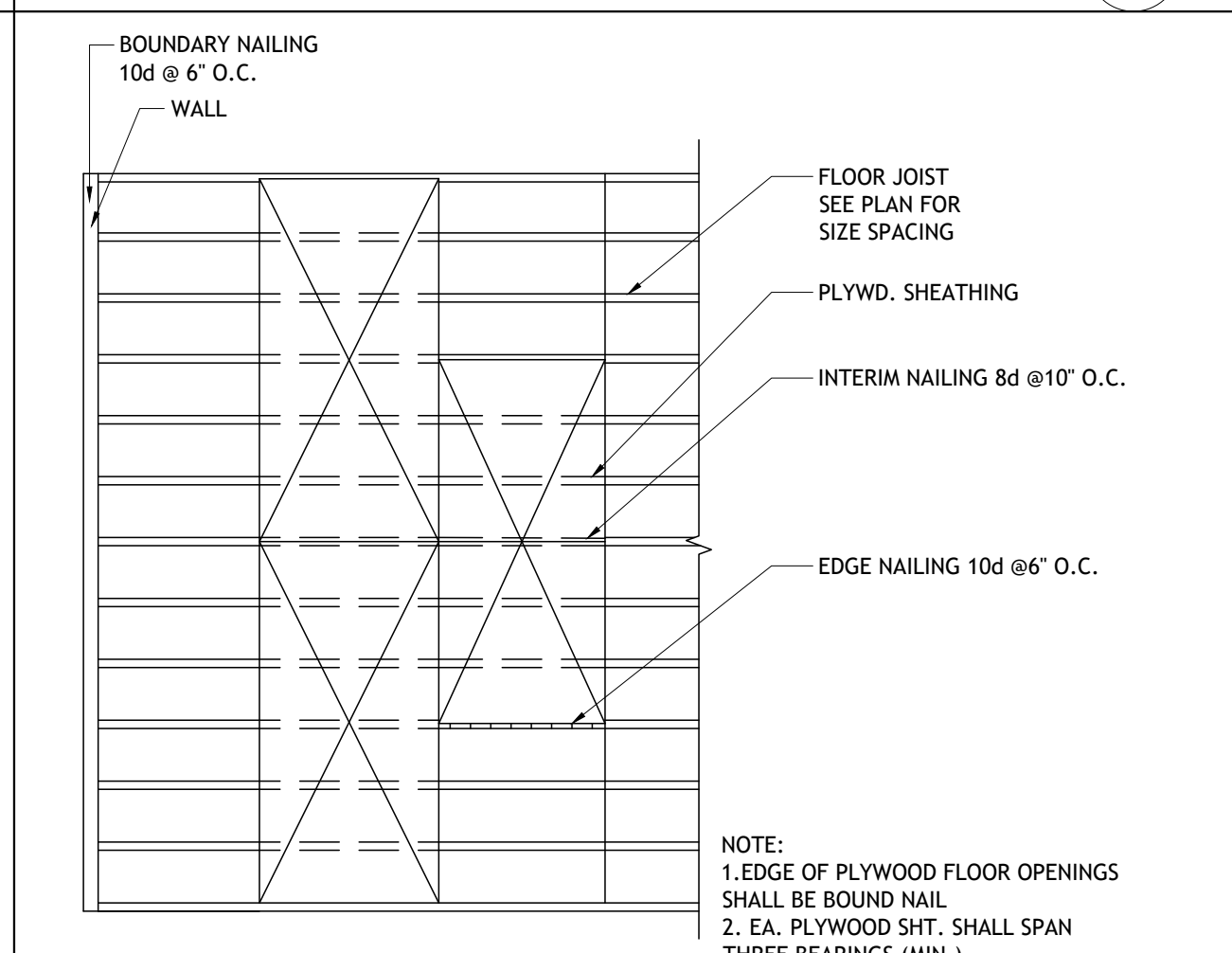
TYPICAL WALL SHEATHING



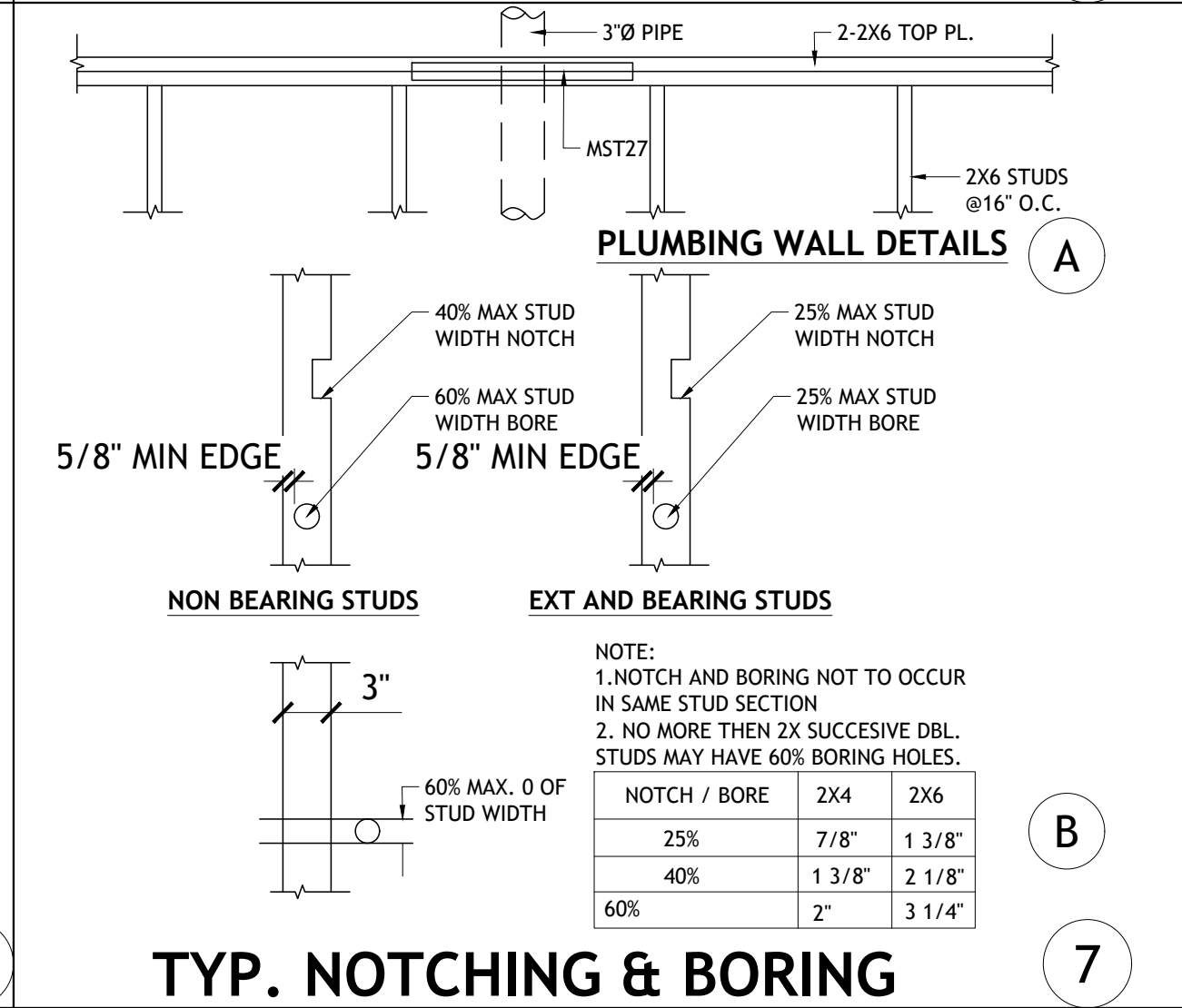
S.W. HOLDOWN



CONC. SLAB ON GRADE



TYPICAL DIAPHRAGM



TYP. NOTCHING & BORING

HEADER SCHEDULE			
SPAN	FIRST FLOOR CEILING ONLY	FIRST FLOOR W/ CEILING & ROOF	
4'-0"	2- 2X4	4X8	
6'-0"	2- 2X6	4X12	
8'-0"	2- 2X8	4X14	2- 2XTRIM

RELEASED FOR CONSTRUCTION

SHEET NO.

S7

DWG NO.: SANT1691

REVISION:

SCALE: N.T.S. @ 24" X 36"

DATE: NOV 9, 24

CLIENT NAME: DANIEL HUMPHRIES

PROJECT ADDRESS: 2594 CASCADE RD ATLANTA, GA 30311

DRAWING TITLE: TYPICAL FRAMING DETAILS-1

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME DRAWING, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THE DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES THAT MAY BE CAUSED BY THE CONTRACTOR OR OTHERS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES THAT MAY BE CAUSED BY THE CONTRACTOR OR OTHERS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES THAT MAY BE CAUSED BY THE CONTRACTOR OR OTHERS.

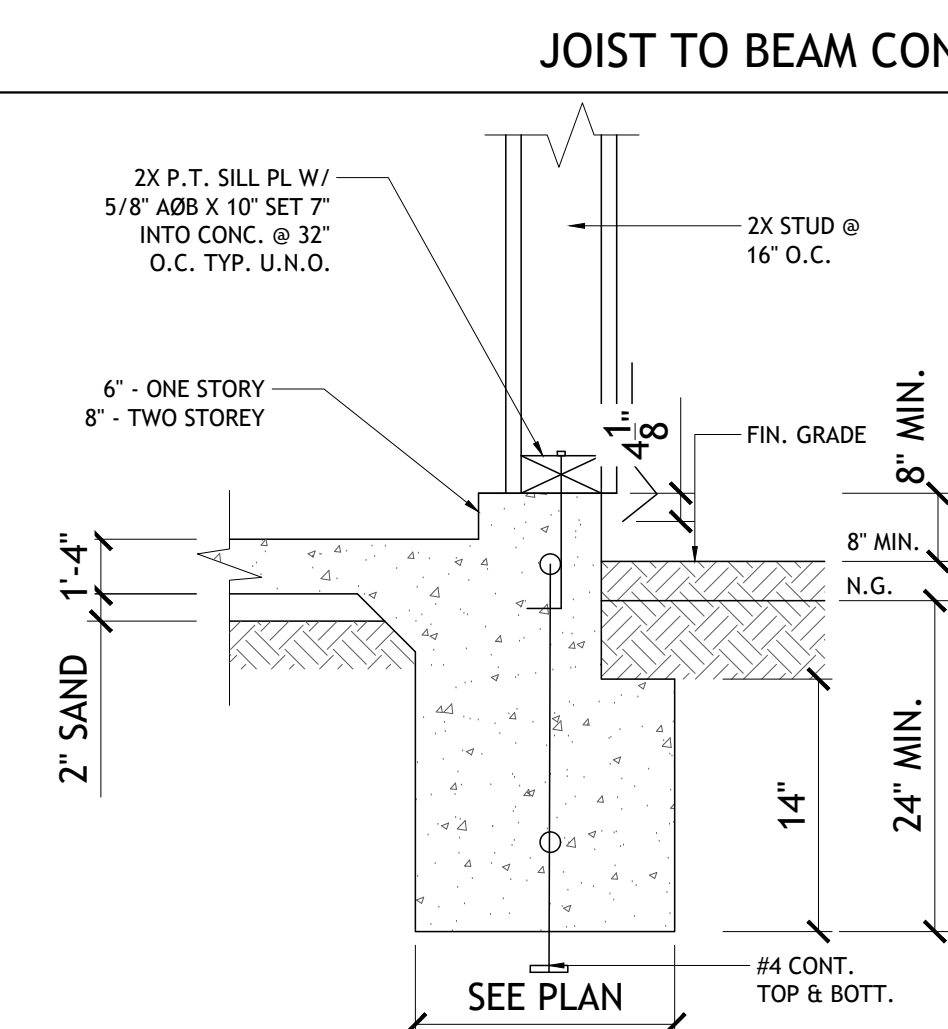
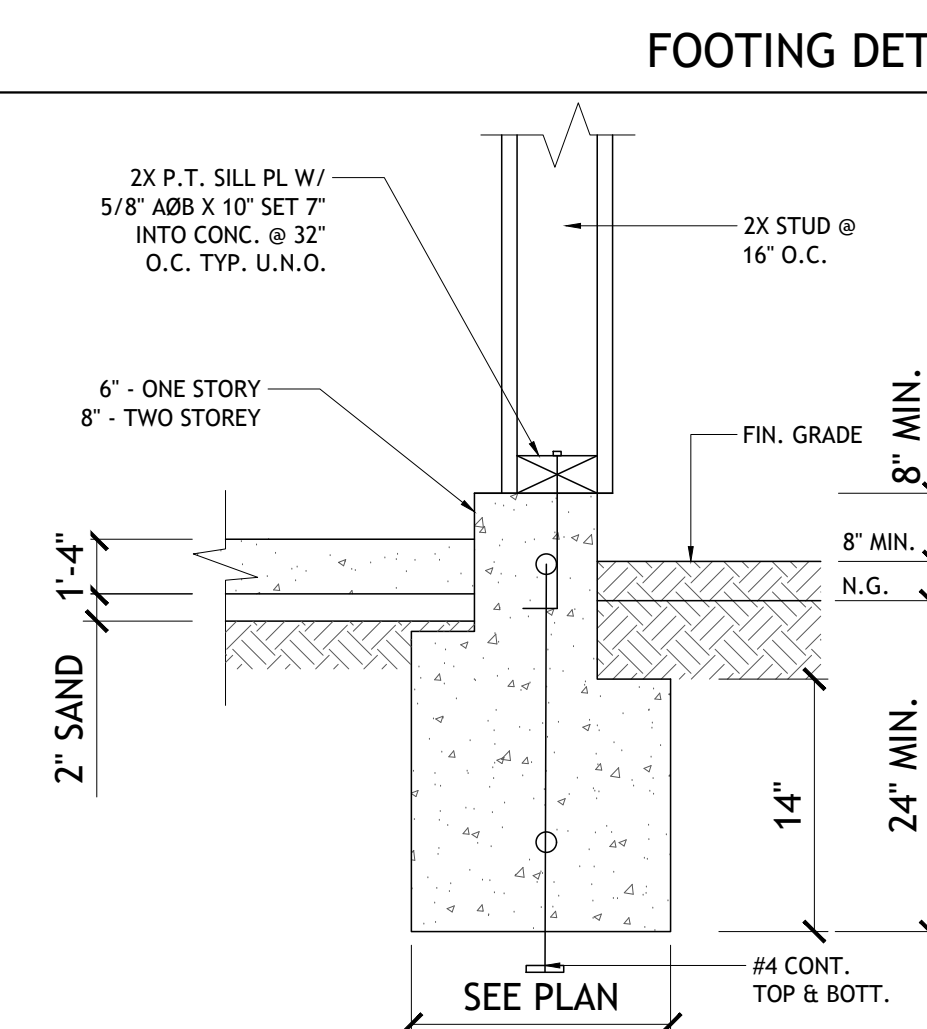
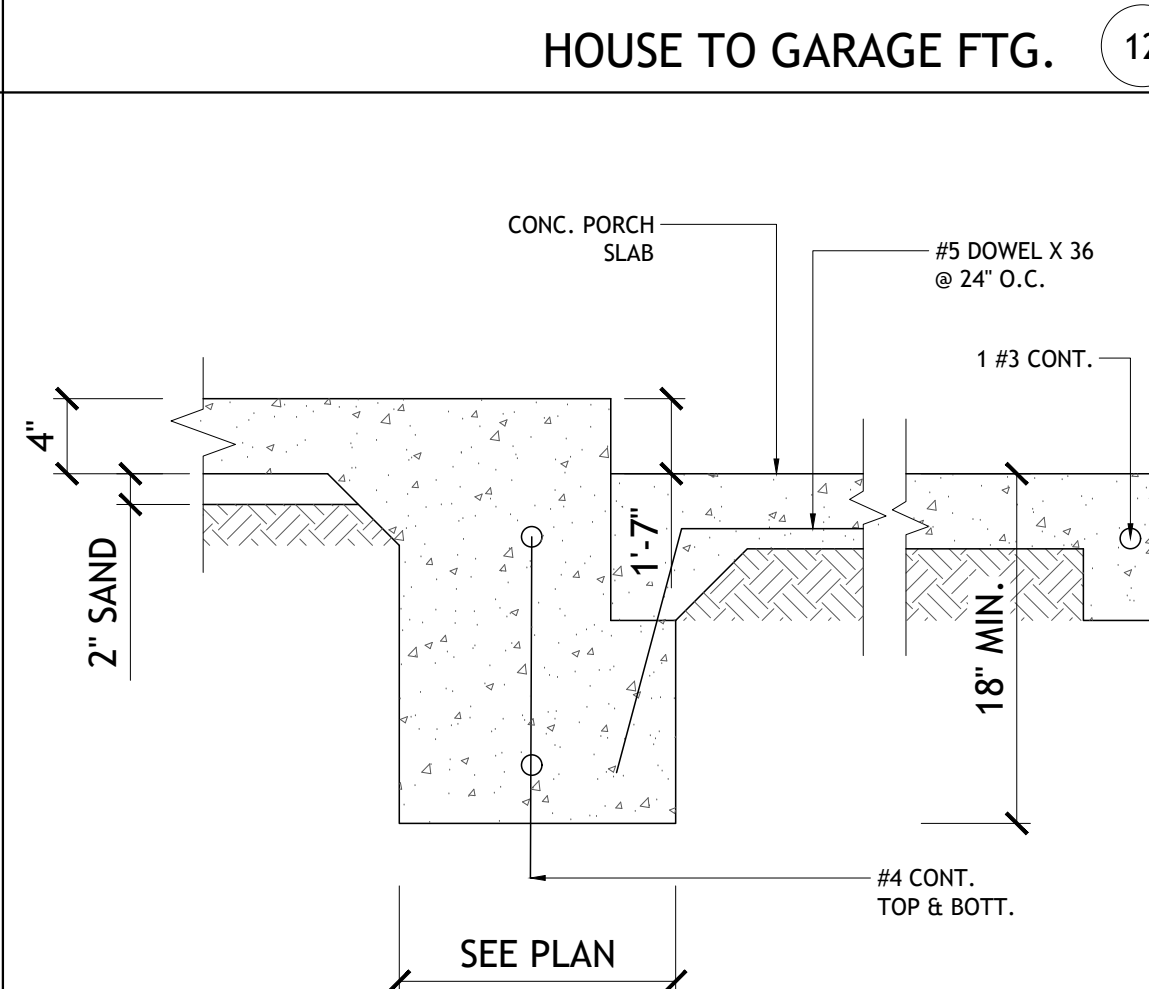
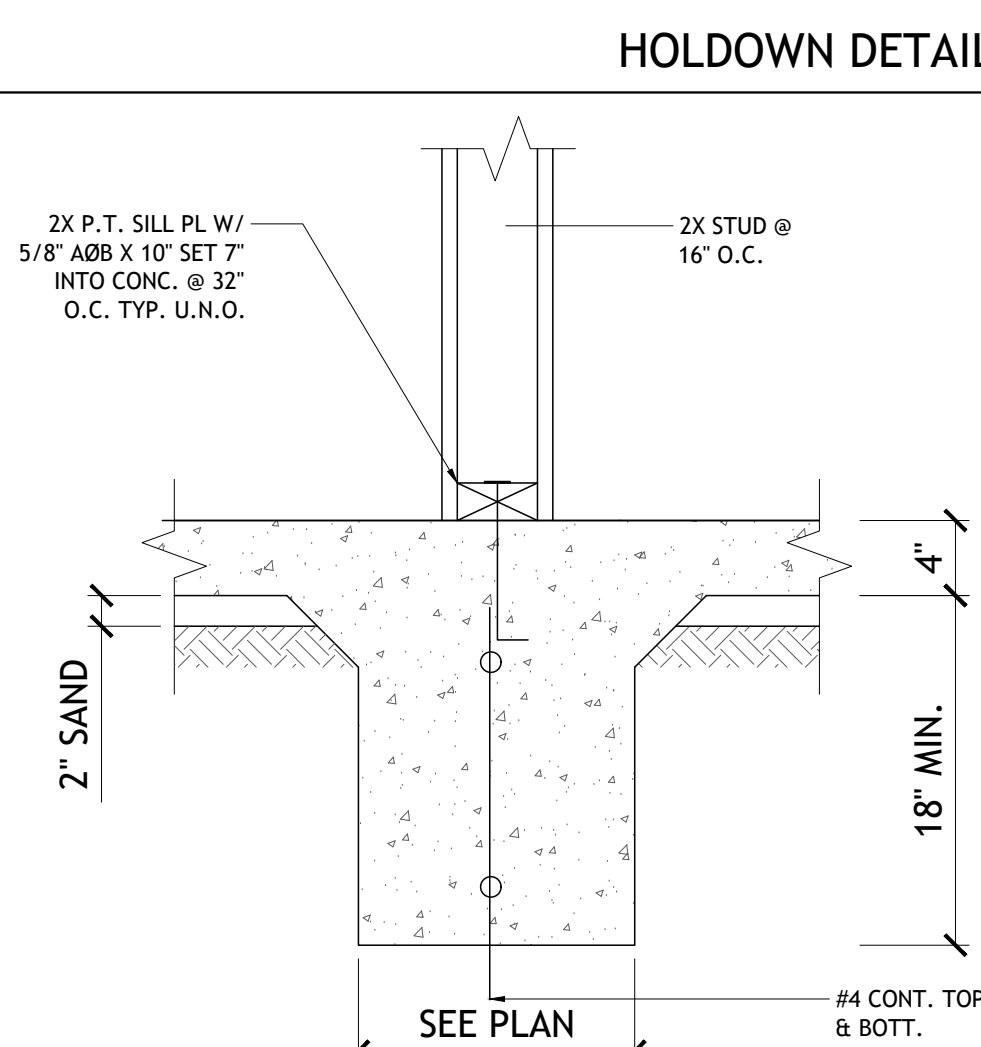
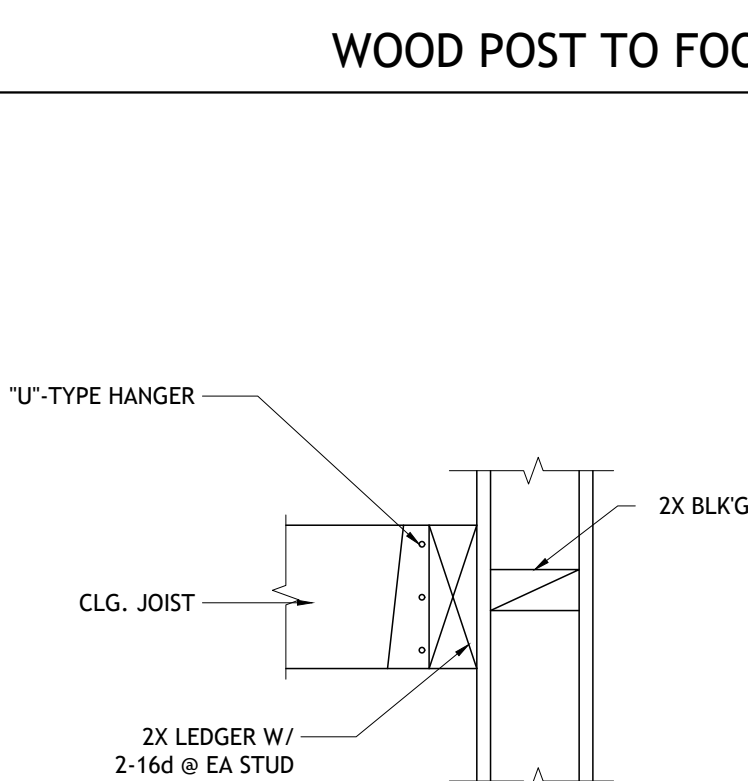
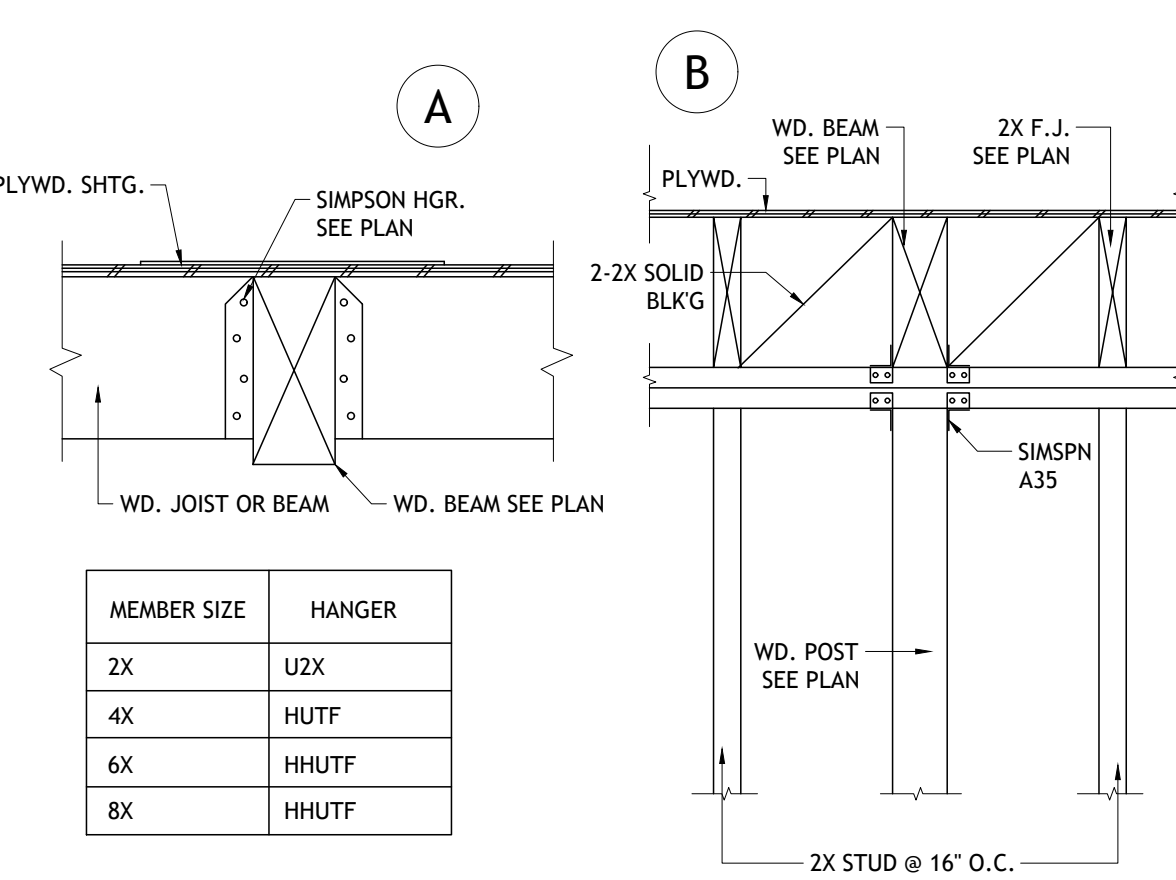
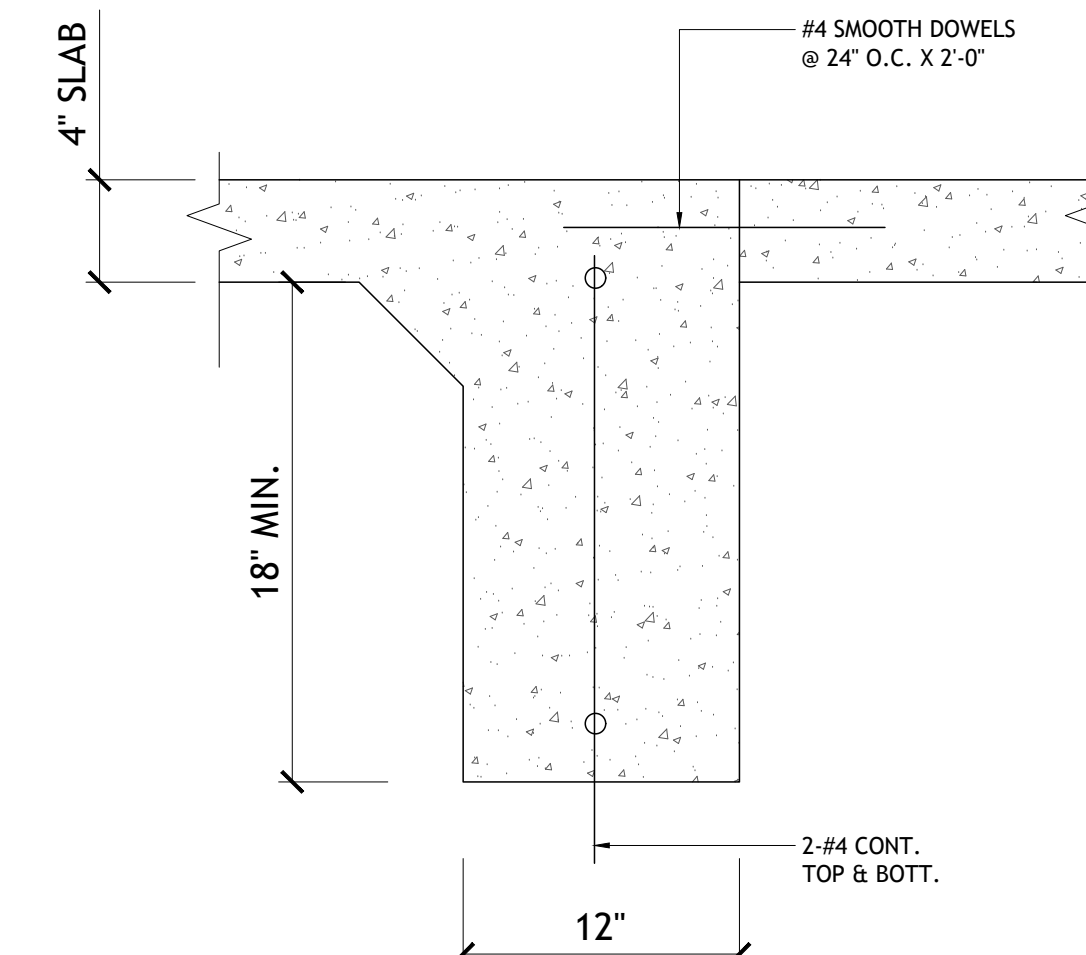
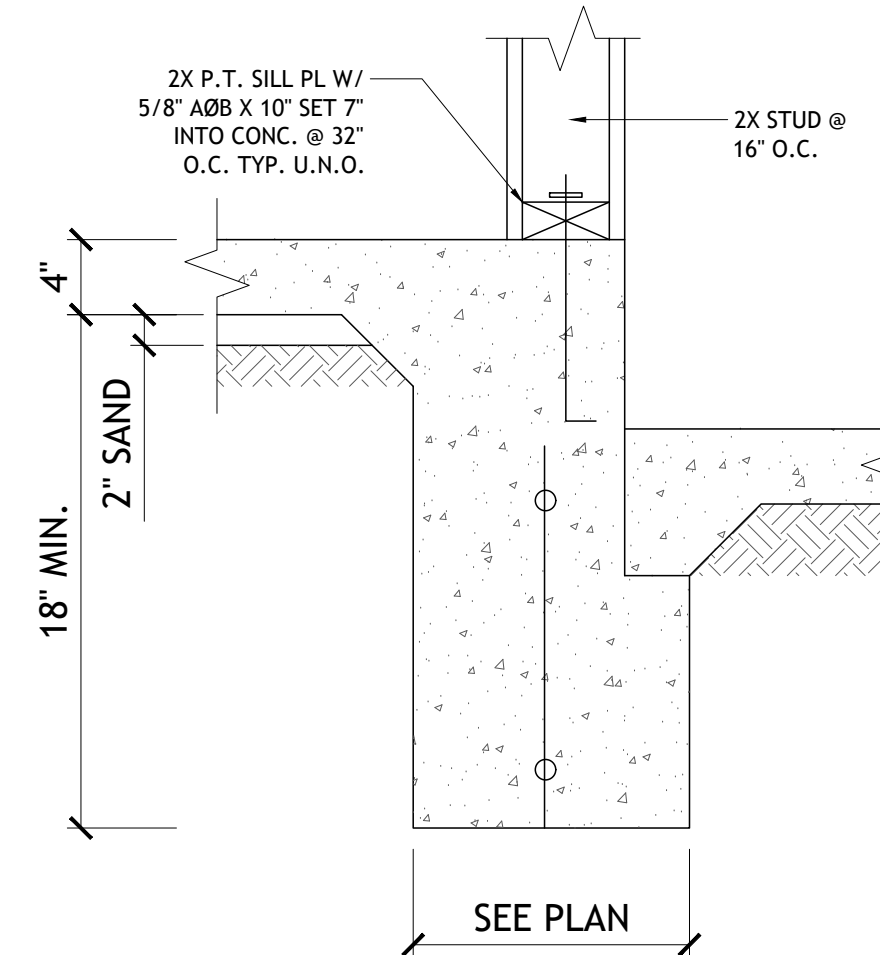
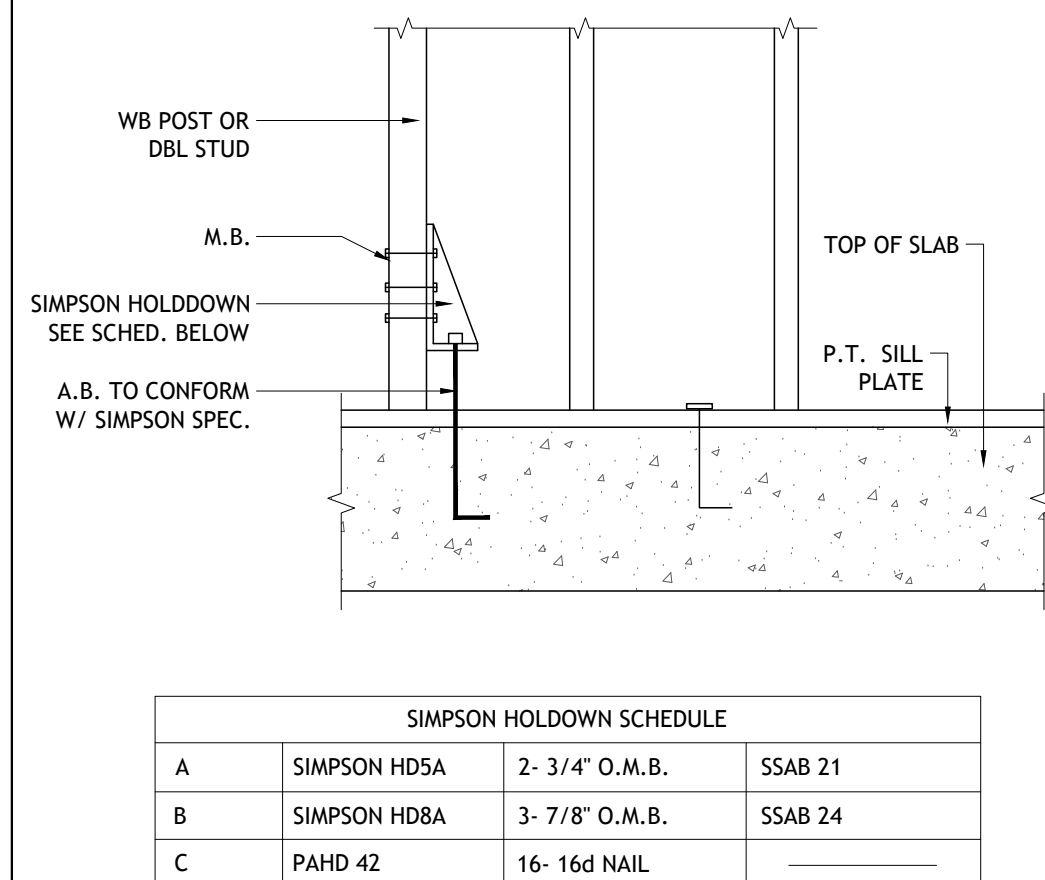
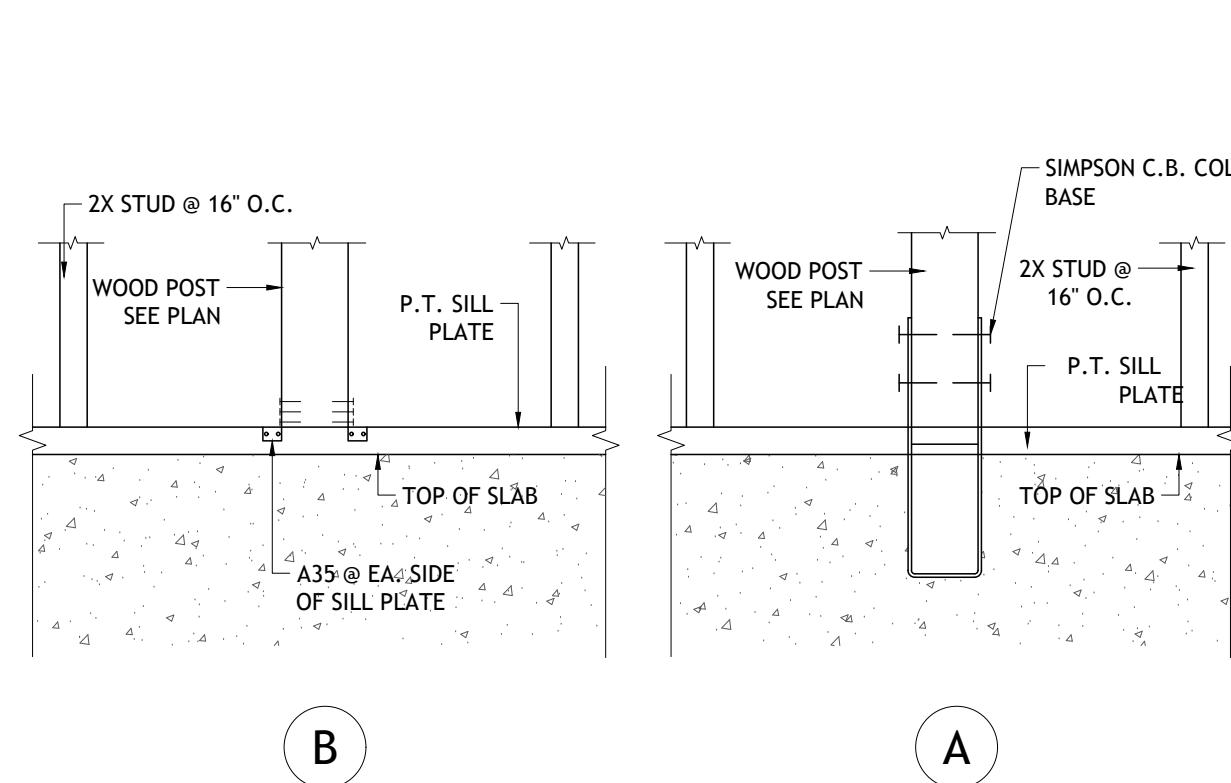
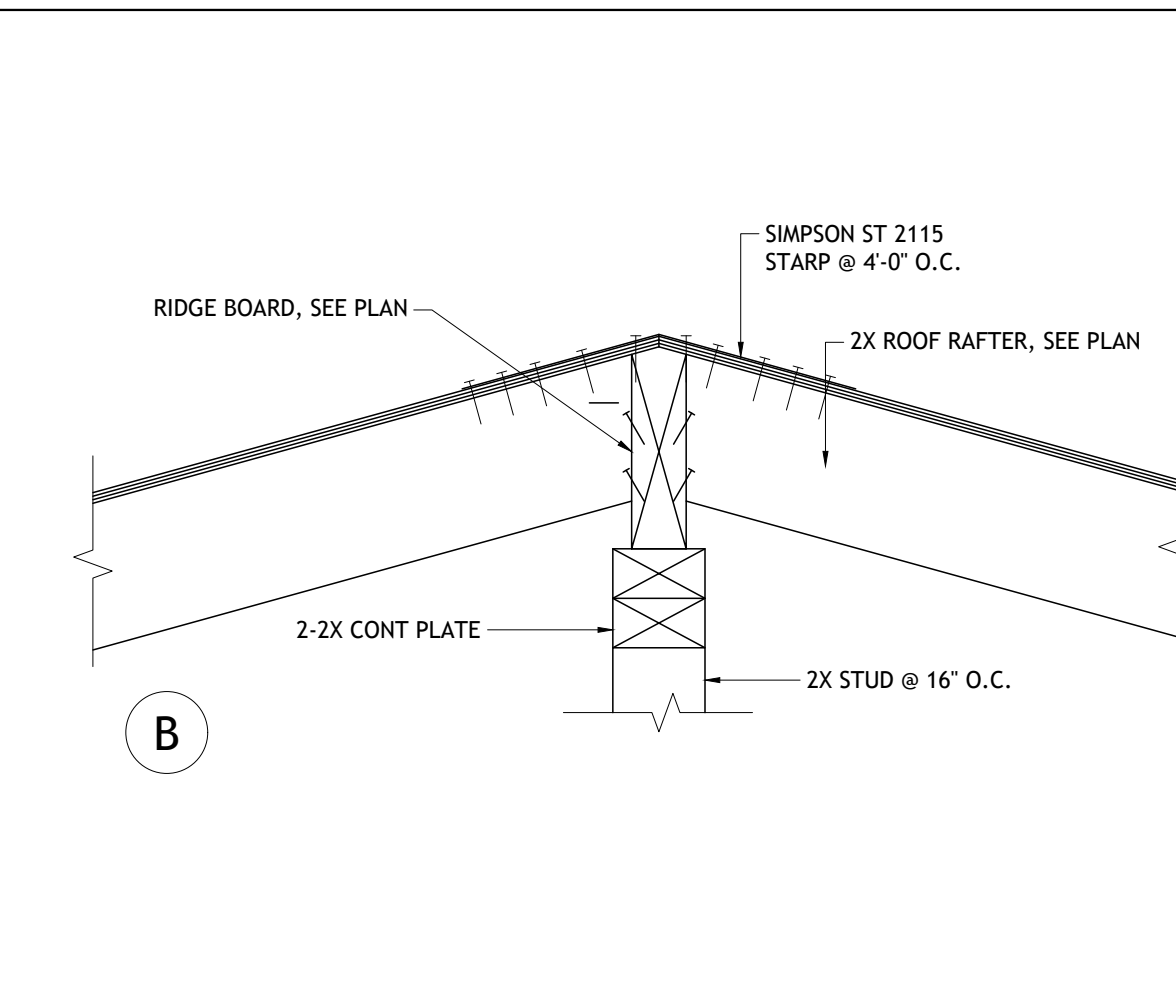
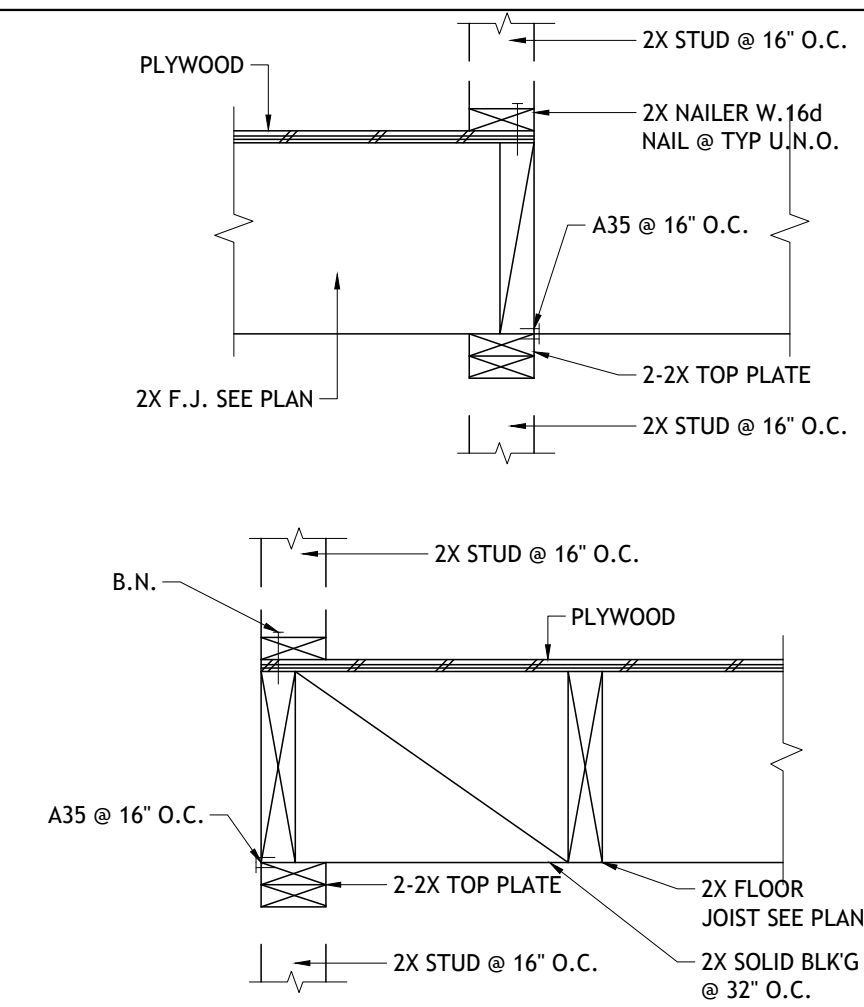
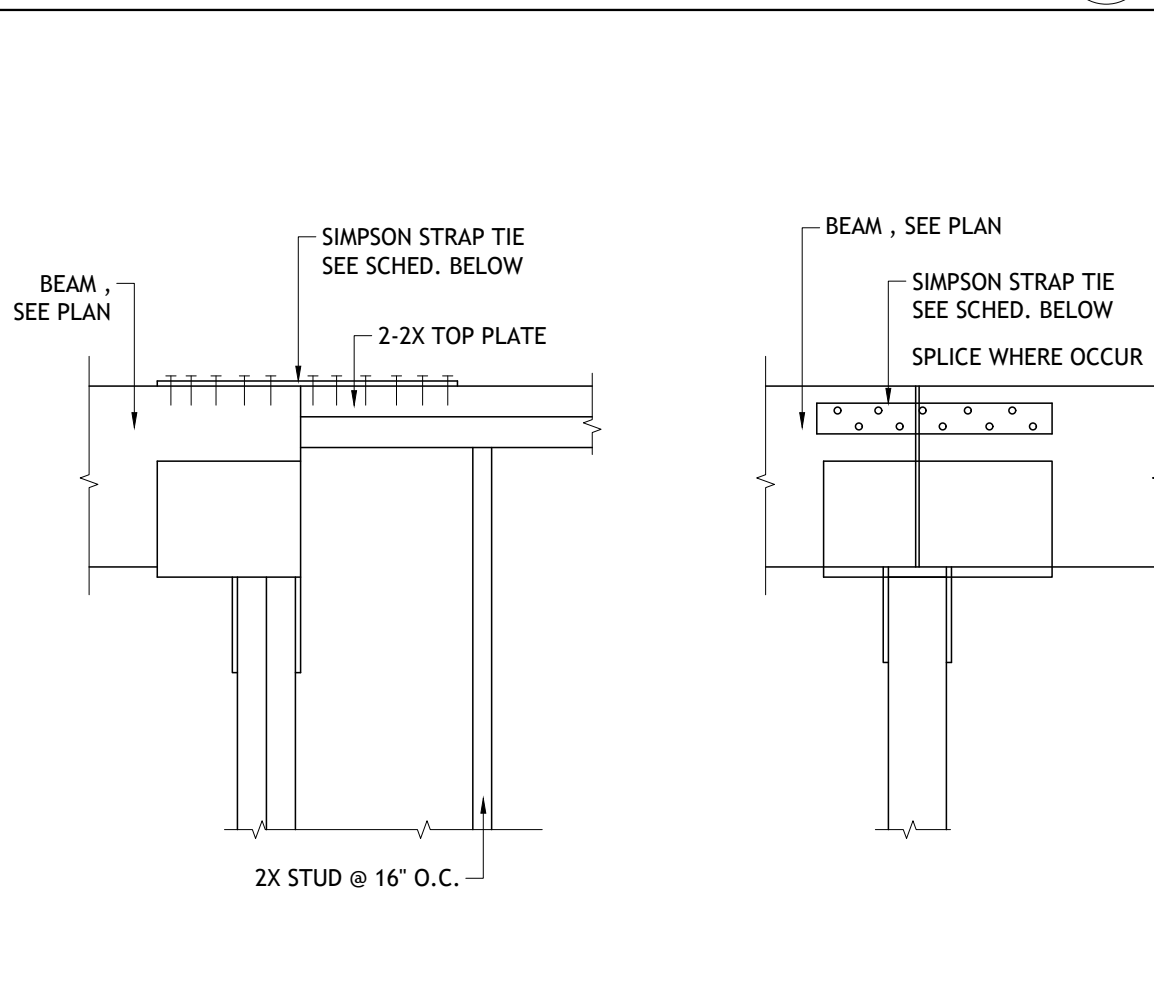
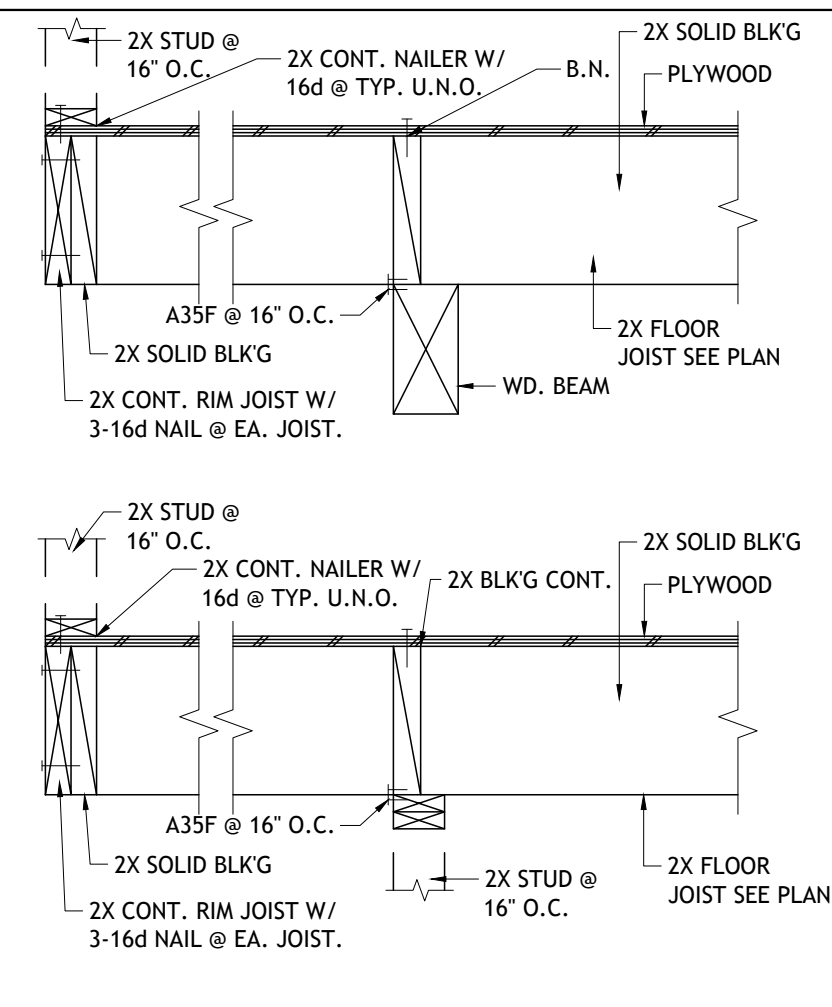
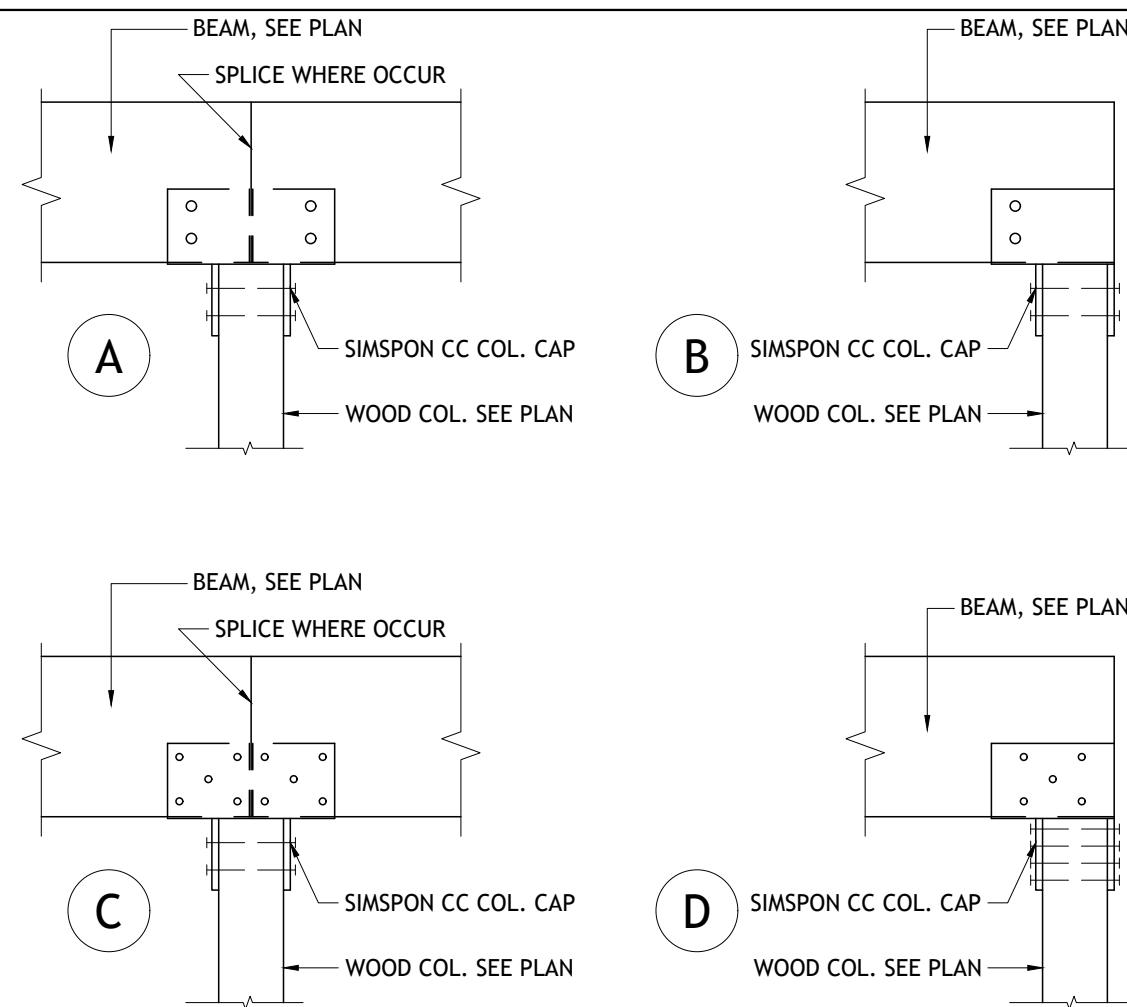
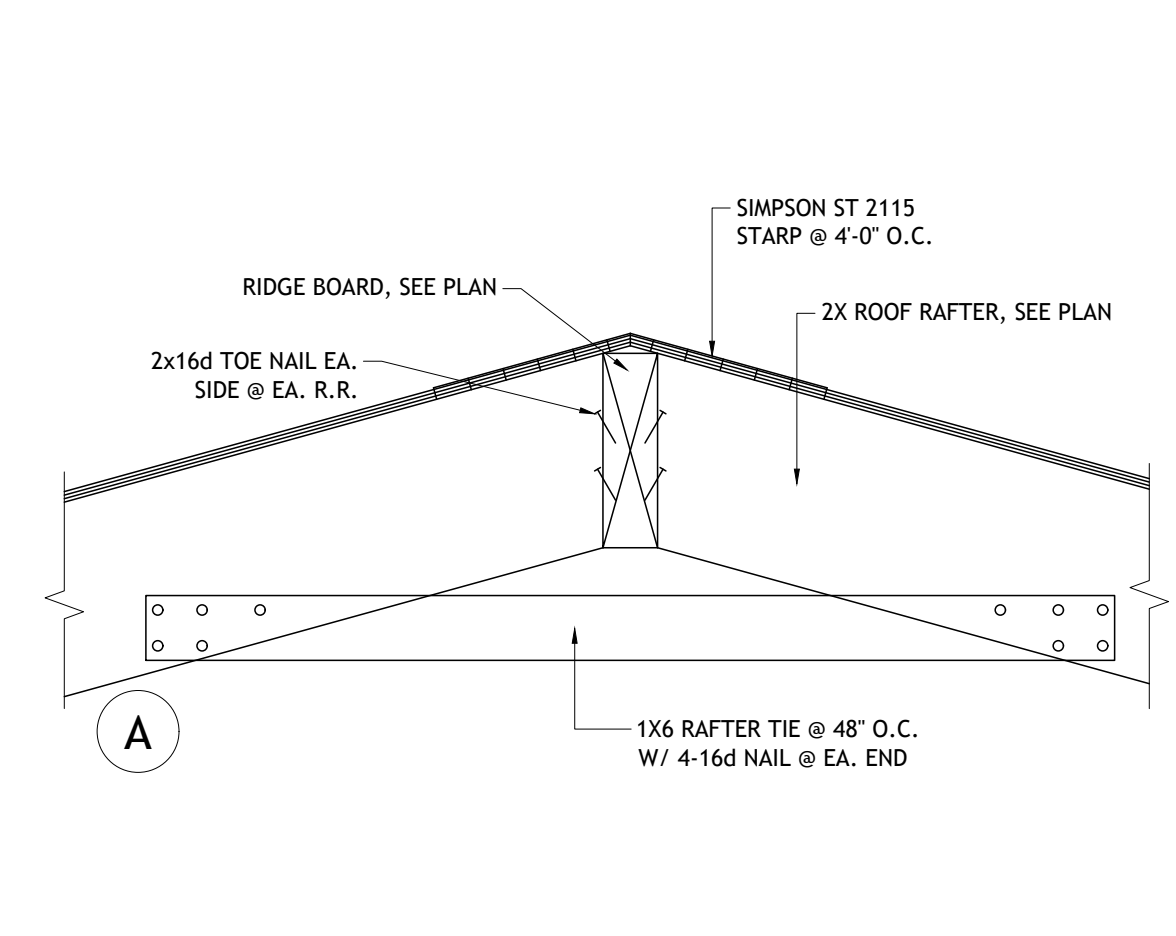
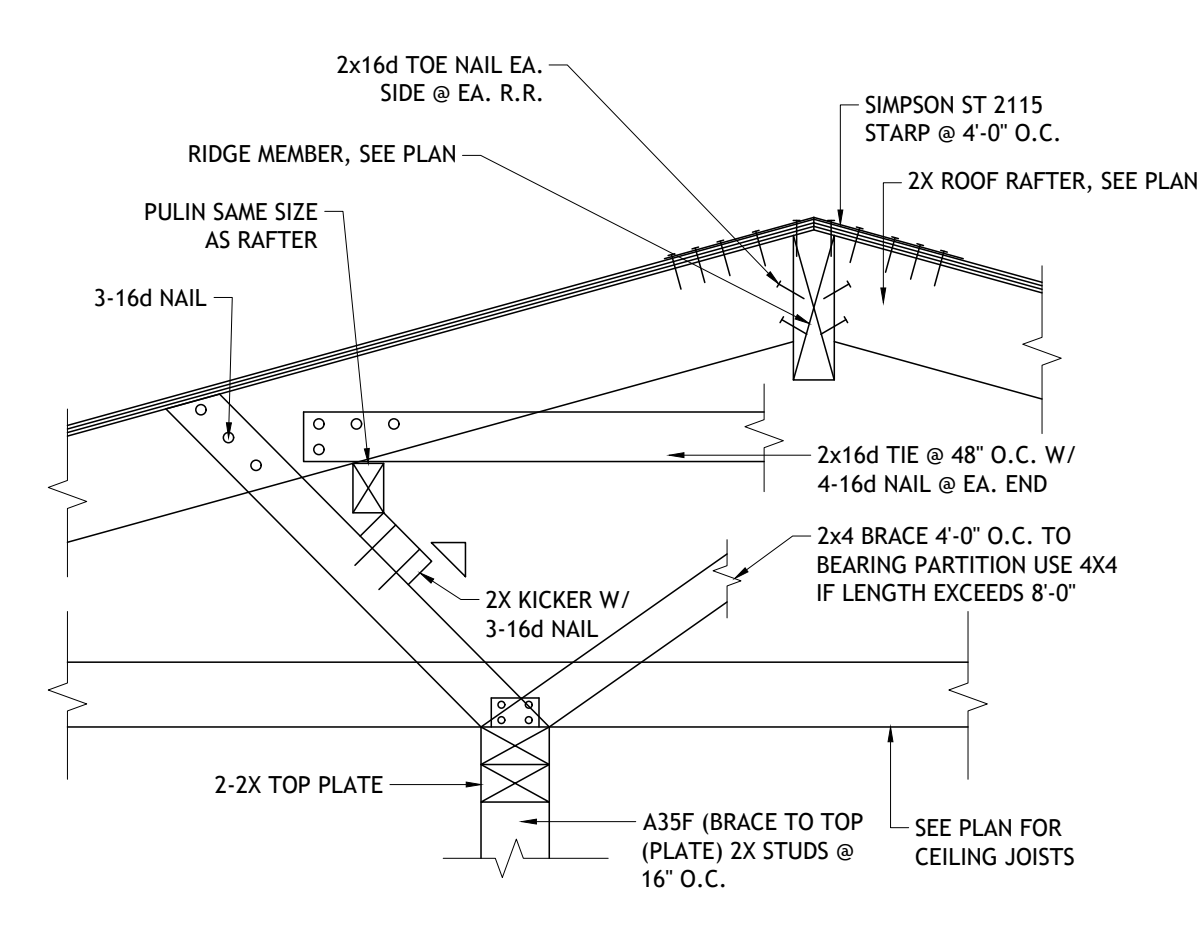
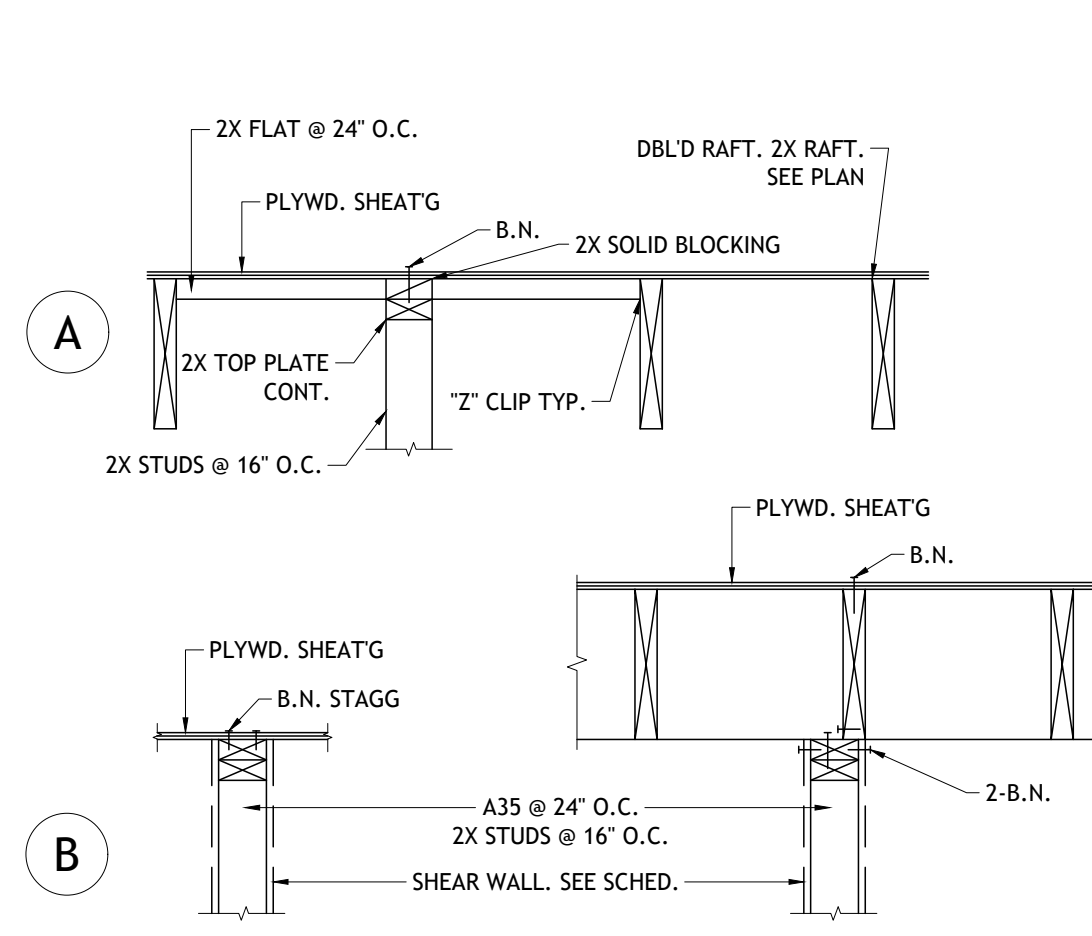
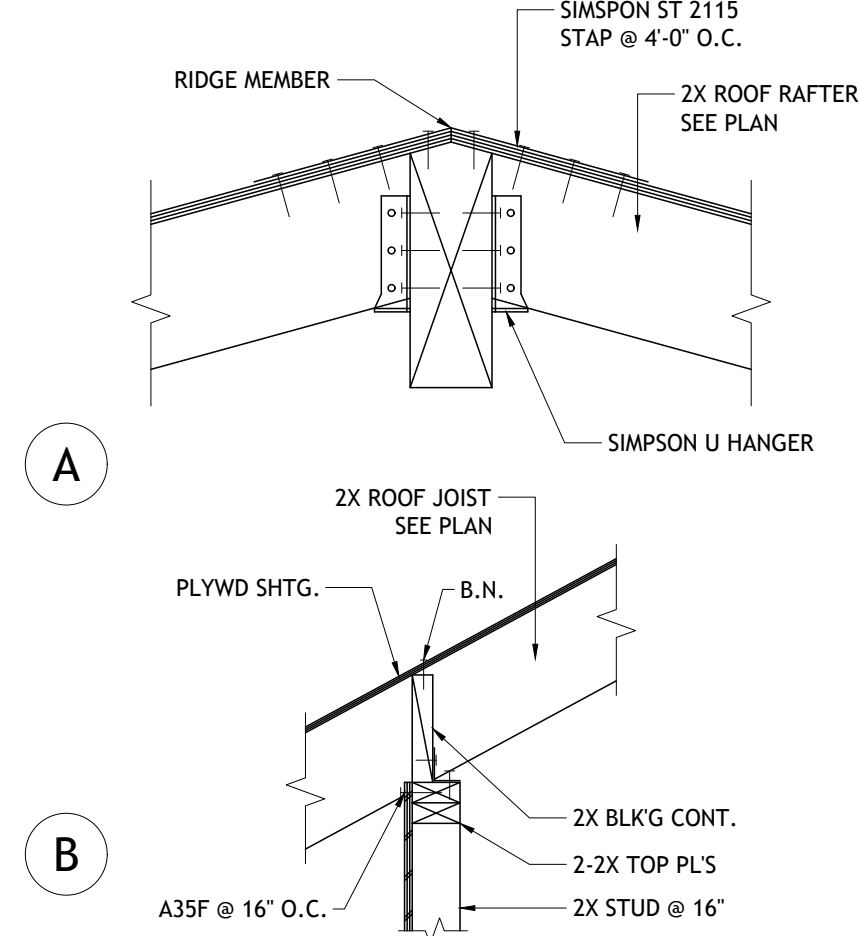
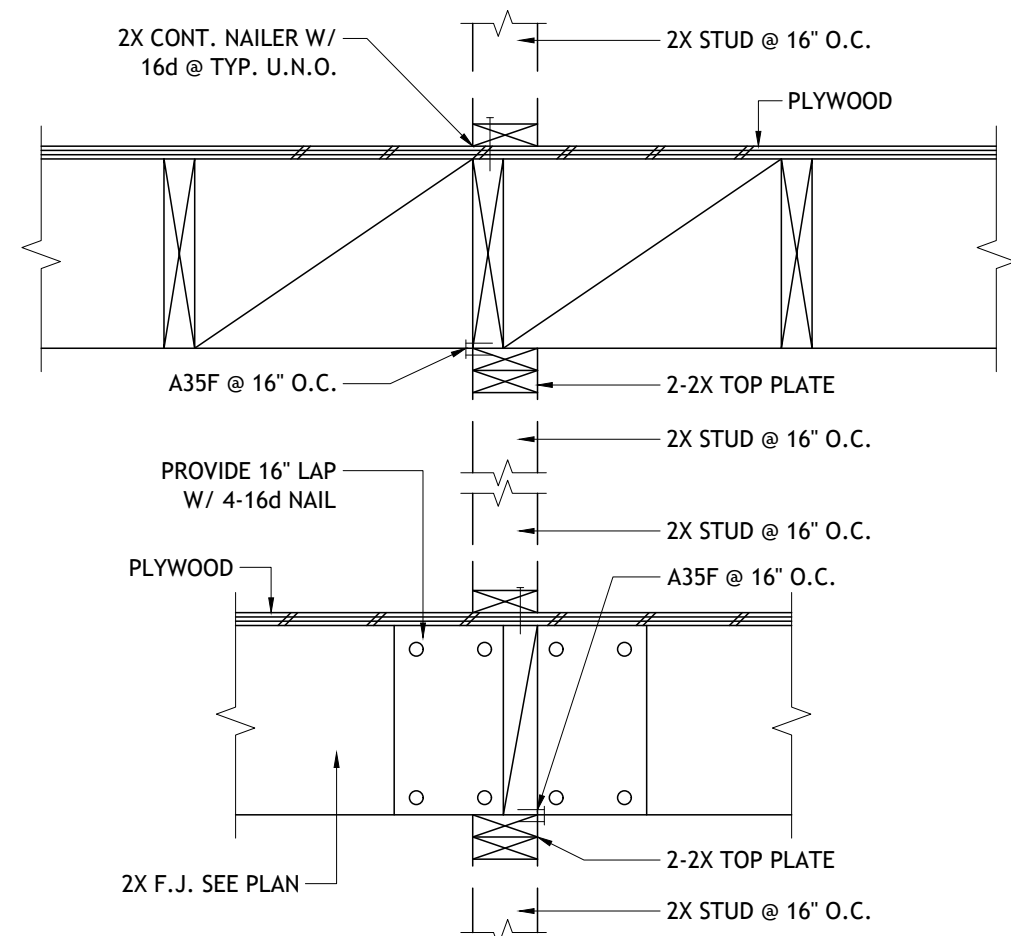
STAMP

DRAWINGS PROVIDED BY:

SANVERMA DESIGN ARCHITECTURE | DESIGN | RENDERING

SANVERMA DESIGN ARCHITECTURE | DESIGN | RENDERING





SHEET NO.

58

DWG NO.:  
SAN1691

**REVISION:**

SCALE:  
N.T.S.  
② 24" X

DATE: NOV 9,

**CLIENT NAME:**  
DANIEL HUMPHRIES

**PROJECT ADDRESS:**  
2594 CASCADE RD  
ATLANTA, GA 30311

**NG TITLE:**  
**AL FRAMING DETAILS-2**

ALTHOUGH GREAT EFFORT AND CARE HAVE GONE INTO THE PREPARATION OF THIS HOME PLANS, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, MONETARY OR OTHERWISE, INCLUDING STRUCTURAL FAILURES DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN. HOME PLANS ARE GENERAL IN NATURE. IT IS THE RESPONSIBILITY OF THE OWNER AND BUILDER TO CONSULT A LOCAL ARCHITECT OR ENGINEER AND TO CHECK WITH THE LOCAL BUILDING OFFICIALS BEFORE THE START OF CONSTRUCTION. ADDITIONAL ENGINEERING AND DESIGN MAY BE REQUIRED TO COMPLY WITH LOCAL BUILDING CODES.

AMP


**DRAWINGS PROVIDED BY:**





